

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
MAY 10, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

NOTES: [1] ADDITIONAL CASE INFORMATION FOR THIS MEETING CAN BE FOUND AT [HTTP://WWW.ROCKWALL.COM/MEETINGS.ASP](http://www.rockwall.com/meetings.asp), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(1) Approval of minutes for the April 26, 2022 Planning and Zoning Commission meeting.

(2) **P2022-015 (HENRY LEE)**

Consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a Preliminary Plat for the Vallis Greene Subdivision consisting of 182 single-family residential lots on a 93.97-acre tract of land identified as Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No. 122 and a portion of Tract 25-1 & 26 and all of Tract 13 & 25 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

(3) **P2022-016 (HENRY LEE)**

Consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a Master Plat for the Vallis Greene Subdivision consisting of 182 single-family residential lots on a 93.97-acre tract of land identified as Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No. 122 and a portion of Tract 25-1 & 26 and all of Tract 13 & 25 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

(4) **P2022-017 (HENRY LEE)**

Consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of John Arnold of Falcon Place SF, LTD for the approval of a Final Plat for the Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

(5) **P2022-020 (HENRY LEE)**

Consider a request by Heather Cullins on behalf of Shirley Smith of Smith Family Acres, LLC for the approval of a Preliminary Plat for the Smith Family Acres Subdivision consisting of four (4) single-family residential lots on a 44.525-acre tract of land identified as Tract 7-1 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses, generally located on the west side of John King Boulevard north of the intersection of John King Boulevard and FM-552, and take any action necessary.

(6) **SP2022-015 (HENRY LEE)**

Consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of John Arnold of Falcon Place SF, LTD for the approval of a Site Plan for the Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

(IV) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(7) **P2022-018 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Brian Jones for the approval of a Replat for Lots 1 & 2, Block A, North Alamo Addition being a 2.1325-acre tract of land identified as Block 15, 15B, 15C & 16 of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 401, 405, 501 & 503 N. Alamo Road, and take any action necessary.

(8) **Z2022-016 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by John and Rita Canavan for the approval of a Zoning Change from a Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1 (SF-1) District for a five (5) acre tract of land identified as Lot 5 of the Mustang Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 714 Clem Road, and take any action necessary.

(9) **Z2022-017 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Kim Lemmond of Dallas Towboys for the approval of a Specific Use Permit (SUP) for a Towing and Impound Yard on a 1.8040-acre tract of land identified as Tract 2-8 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 227 National Drive, and take any action necessary.

(10) **Z2022-018 (ANGELICA GAMEZ)**

Hold a public hearing to discuss and consider a request by Carlos and Crystal Solis for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 3.02-acre parcel of land identified as Lot 7R of the Lofland Estates No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 2.0 (SFE-2.0) District, addressed as 2914 FM-549, and take any action necessary.

(11) **Z2022-019 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Fred Gans of CDC Equities, LLC for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for limited Commercial (C) District land uses on a 13.55-acre tract of land identified as Lots 8R, 9R & 10 of the Rainbow Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, addressed as 5879, 5917 & 5981 FM-3097 [*Horizon Road*], and take any action necessary.

(12) **Z2022-020 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Hellen Byrd on behalf of Donald Valk for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 14.78-acre tract of land identified as Tracts 8 & 8-1 of the J. H. Bailey Survey, Abstract No. 34, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 4649 SH-276, and take any action necessary.

(13) **Z2022-021 (ANGELICA GAMEZ)**

Hold a public hearing to discuss and consider a request by Ruben Chapa for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1214-acre parcel of land identified as Lot 22, Block B, Chandler's Landing, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 5405 Ranger Drive, and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(14) **SP2022-016 (HENRY LEE)**

Discuss and consider a request by Charles Smith of Incognito Winery on behalf of Charles Smith of Dynacap Holdings, LTD the approval of a Site Plan for a Craft Winery on a 2.202-acre tract of land identified as Tract 12 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1541 IH-30, and take any action necessary.

(15) **SP2022-019 (RYAN MILLER)**

Discuss and consider a request by Richard Sullivan on behalf of Reid Caldwell of Rockwall Urban Industrial, LP for the approval of an Amended Site Plan for Outside Storage on a 1.89-acre parcel of land identified as Lot 3, Block D, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1910 Alpha Drive, and take any action necessary.

(16) **SP2022-020 (HENRY LEE)**

Discuss and consider a request by Mark Griffin of Linear Architecture, LLC on behalf of Roland C. Spongberg of WKS Frosty Corp. for the approval of an Amended Site Plan for an existing Restaurant with Drive-Through on a 0.964-acre parcel of land identified as Lot 3R, Block A, Rockwall Towne Center, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2545 Ridge Road, and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission.

(17) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- Z2022-013: Specific Use Permit (SUP) for Residential Infill at 130 Chris Drive **(APPROVED; 2ND READING)**
- Z2022-014: Zoning Change (AG to PD) for the RISD **(APPROVED; 2ND READING)**
- Z2022-015: Zoning Change (AG to PD) for the RISD **(APPROVED; 2ND READING)**
- P2022-013: Replat for Lots 12 & 13, Block A, Stone Creek Retail Addition **(APPROVED)**
- P2022-014: Final Plat for Lot 1, Block A, St. Benedict's Anglican Church Addition **(APPROVED)**
- P2022-019: Replat for Lots 2 & 3, Block A, Ladera Rockwall Addition **(APPROVED)**
- P2022-021: Preliminary Plat for Lot 1, Block A, Revelation Addition **(APPROVED)**
- P2022-022: Replat for Lots 10 & 11, Block A, First United Methodist Church Addition **(APPROVED)**
- SP2022-021: Alternative Tree Mitigation Settlement Agreement for 810 N. Goliad Street **(APPROVED)**
- MIS2022-007: Alternative Tree Mitigation Settlement Agreement for 1775 Airport Road **(APPROVED)**
- MIS2022-009: Special Exception to the Fence Requirements for Rayburn Electric Cooperative, Inc. **(APPROVED)**
- MIS2022-010: Variance to the Utility Requirements for 7-Eleven **(APPROVED)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on May 6, 2022 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
APRIL 26, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT
5 FORM ON THE CITY'S WEBSITE.
6

7 I. CALL TO ORDER
8

9 **Chairman Eric Chodun brought the meeting to order at 6:01 PM. Commissioners present were Derek Deckard, Sedric Thomas, Jerry Welch, Mark
10 Moeller, and Jean Conway. Absent from the meeting was Commissioner John Womble. Staff members present were Planning Director Ryan Miller,
11 Planners Henry Lee and Bethany Ross, Planning Coordinator Angelica Gamez, Civil Engineer Sarah Johnston, Assistant City Engineer Jeremy
12 White, and City Engineer Amy Williams.**
13

14 II. APPOINTMENTS
15

- 16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on
17 the agenda requiring architectural review.
18

19 **A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the
20 Architectural Review Board meeting.**
21

22 III. OPEN FORUM
23

24 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the
25 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the
26 OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas
27 Open Meetings Act.*
28

29 **Chairman Chodun explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one
30 indicating such, Chairman Chodun closed the open forum.**
31

32 IV. CONSENT AGENDA
33

34 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code
35 (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
36

- 37 2. Approval of minutes for the April 12, 2022 Planning and Zoning Commission meeting.
38

39 3. **P2022-013 (ANGELICA GAMEZ)**

40 Consider a request by Christopher Zamord of Jones Carter on behalf of Metroplex Acquisition Fund, LP for the approval of a Replat for Lots 12 & 13, Block A,
41 Stone Creek Retail Addition being a 5.96-acre tract of land identified as Lot 11, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County,
42 Texas, zoned Planned Development District 70 for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV)
43 District, located at the northeast corner of the intersection of SH-205 and Bordeaux Drive, and take any action necessary.
44

45 4. **P2022-014 (ANGELICA GAMEZ)**

46 Consider a request by Dub Doupbrate of Doupbrate & Associates on behalf of Father Michael Vinson of St. Benedict's Anglican Church for the approval of a
47 Final Plat for Lot 1, Block A, St. Benedict's Anglican Church Addition being a 7.424-acre tract of land identified as Tracts 3 & 10 of the W. B. Bowles Survey,
48 Abstract No. 12 and A. Hanna Survey Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, 1500 Sunset Hill
49 Drive, and take any action necessary.
50

51 5. **P2022-019 (BETHANY ROSS)**

52 Consider a request by Justin Lansdowne of McAdams Co. on behalf of John Delin of RW Ladera, LLC for the approval of a Replat for Lots 2 & 3, Block A,
53 Ladera Rockwall Addition being a 37.8-acre tract of land identified as Lot 1, Block A, Ladera Rockwall Addition, City of Rockwall, Rockwall County, Texas,
54 zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District,
55 located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.
56

57 6. **P2022-021 (BETHANY ROSS)**

58 Discuss and consider a request by David Shipman of Triten Real Estate Partners on behalf of Robert E. Lambreth of BSKJ Development Corporation for the
59 approval of a Preliminary Plat for Lot 1, Block A, Revelation Addition being a 18.480-acre tract of land identified as Tracts 1, 1-3 & 1-7 of the J. M. Allen
60 Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District,
61 addressed as 1725 SH-276, and take any action necessary.
62

63 7. **P2022-022 (BETHANY ROSS)**

64 Consider a request by Gabriel Collins of Pacheco Koch a Westwood Company on behalf of Gary Hancock of First United Methodist Church for the approval
65 of a Replat for Lots 10 & 11, Block A, First United Methodist Church Addition being a 17.821-acre tract of land identified as Lots 7 & 9, Block A, First United
66 Methodist Church Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 1200 E. Yellow Jacket Lane, and take
67 any action necessary.
68

69 **8. SP2022-021 (HENRY LEE)**

70 Discuss and consider a request by Jeff Carroll Architects on behalf of Frank Fite of the Fite Agency, LLC for the approval of an Amended Site Plan and
71 Alternative Tree Mitigation Settlement Agreement for an Office Building on a 0.392-acre parcel of land identified as Lot 1, Block A, Fite Office Addition, City
72 of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North
73 Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street [SH-205], and take any action necessary.
74

75 **Commissioner Conway made a motion to approve the consent agenda. Commissioner Moeller seconded the motion which passed by a vote of 6-**
76 **0.**

77
78 V. ACTION ITEMS

79 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and*
80 *special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*
81
82

83 **9. MIS2022-007 (RYAN MILLER)**

84 Discuss and consider a request Clark Staggs of Foxtrot 46 Development on behalf of Neil Gandy of ADD Real Estates for the approval of a Miscellaneous
85 Case for a Tree Mitigation Plan and an Alternative Tree Mitigation Settlement Agreement for a 6.60-acre tract of land being a portion of Tract 21 of the D.
86 Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the north side of Airport Road
87 east of the intersection of Airport Road and John King Boulevard, and take any action necessary.
88

89 **Director of Planning and Zoning Ryan Miller provided a brief summary and history in regards to the request. On February 15th, the Planning and**
90 **Zoning Commission approved a treescape plan for the property proposing to remove the trees off the property. As part of this, the applicant**
91 **proposed an alternative tree mitigation plan with a scaled mitigation requirement. After this request was denied, the applicant withdrew the**
92 **request. He City's arborist came back and said that only trees with a grade of 6 or higher should require mitigation. Based on that the applicant**
93 **has submitted an alternative tree mitigation settlement agreement request proposing to mitigate in full for those inches at the \$200 per inch**
94 **removed which would equate to \$1560.00. Planning Director Miller then advised that the applicant and staff were present and available to answer**
95 **questions.**

96
97 **Chairman Chodun asked for clarification in regards to the request.**
98 **Vice-Chairman Welch asked if adjustments had been made in the past.**
99

100 **Clark Staggs**
101 **1601 Seascape Court**
102 **Rockwall, TX 75087**
103

104 **Mr. Staggs came forward and provided additional details in regards to the request.**
105

106 **Commissioner Thomas made a motion to approve MIS2022-007 with staff recommendations. Commissioner Conway seconded the motion which**
107 **was approved by a vote of 6-0.**
108

109 **Chairman Chodun advised that the item will go before the City Council on May 2, 2022.**
110

111 **10. MIS2022-009 (RYAN MILLER)**

112 Discuss and consider a request by Stephen Geiger of Rayburn Electric Cooperative, Inc. for the approval of a Miscellaneous Case for a Special Exception to
113 the fence standards on a 58.72-acre tract of land identified as Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas,
114 zoned Heavy Commercial (HC) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the
115 northwest corner of the intersection of S. Goliad Street [SH-205] and Mims Road, and take any action necessary.
116

117 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. Rayburn Electric bought the subject property for**
118 **future expansion but soon started having problems with illegal dumping on the property. The applicant is proposing to fence in the property with**
119 **a 6-foot chain link fence as a temporary solution until they expand and are able to put something more permanent in its place. However, this**
120 **request does require a variance to the fence material requirements. Director Miller then advised that the applicant and staff were present and**
121 **available to answer any questions.**

122
123 **Stephen Geiger**
124 **2708 Whispering Oaks**
125 **Rockwall, TX 75087**
126

127 **Mr. Geiger came forward and provided further explanation and details in regards to the request.**
128

129 **After lengthy discussion between the Commissioners, Commissioner Thomas made a motion to approve MIS2022-009 with the recommendation**
130 **that the applicant does vinyl coating along Hwy 205 as well as other staff recommendations. Commissioner Moeller seconded the motion which**

131 passed by a vote of 4-2 with Commissioners Chodun and Conway dissenting. Director Miller then informed the Commission that this request was
132 denied due to it needing a ¾ majority vote to be approved.
133

134 11. MIS2022-010 (RYAN MILLER)

135 Discuss and consider a request by Michael Hampton of 549 Crossing, LP on behalf of Justin Webb and Russell Phillips of Rockwall 205 Investors, LLC for
136 the approval of a *Miscellaneous Case* for a *Variance* to the *Utility Placement* requirements in the *General Overlay District Standards* to allow overhead utilities
137 in conjunction with raw land and a *Retail Store with Gasoline Sales* on a 34.484-acre tract of land identified as Tracts 17-5 of the W. W. Ford Survey, Abstract
138 No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located
139 at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.
140

141 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicants are requesting a variance to the
142 City's underground utility requirements. A site plan for the subject property was ultimately denied and withdrawn by the applicant. At that time,
143 Staff spoke to the applicant and asked them to work with Farmers Electric to try and address the issues and get a more detailed price breakdown
144 of what the utility costs were. The applicants have now come back with those costs and are requesting a variance to the overhead power
145 requirements. Specifically, this would allow overhead utilities along 205 and 549 which is the current alignment. Director Miller then advised that
146 this request does require a ¾ majority vote for approval and the applicant and staff were present and available for questions.
147

148 Vice-Chairman Welch asked if this was a temporary solution.

149 Chairman Chodun asked if this would cause a precedence for the City.
150

151 Russell Phillips

152 Rockwall 205 Investors
153

154 Mr. Phillips came forward and provided additional details in regards to the request.
155

156 Michael Hampton

157 1828 Tumbleweed Circle

158 Rockwall, TX 75087
159

160 Mr. Hampton came forward and provided additional details in regards to the request.
161

162 After lengthy discussion between the Commissioners, Commissioner Thomas made a motion to deny MIS2022-010. Commissioner Chodun
163 seconded the motion which passed by a vote of 5-1 with Commissioner Welch dissenting.
164

165 Chairman Chodun advised that the item will go before the City Council on May 2, 2022.
166

167 VI. DISCUSSION ITEMS
168

169 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*
170 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*
171 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for*
172 *the following cases is May 10, 2022.*
173

174 12. Z2022-016 (BETHANY ROSS)

175 Hold a public hearing to discuss and consider a request by John and Rita Canavan for the approval of a *Zoning Change* from a Single-Family Estate 4.0
176 (SFE 4.0) District to a Single-Family 1 (SF-1) District for a five (5) acre tract of land identified as Lot 5 of the Mustang Acres Addition, City of Rockwall,
177 Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE 4.0) District, addressed as 714 Clem Road, and take any action necessary.
178

179 Planner Bethany Ross provided a brief summary in regards to the request.
180

181 John Canavan

182 714 Clem road

183 Rockwall, TX
184

185 Mr. Canavan provided additional details in regards to the request. He also explained that they were trying to share the property with their daughter.
186

187 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.
188

189 13. Z2022-017 (HENRY LEE)

190 Hold a public hearing to discuss and consider a request by Kim Lemmond of Dallas Towboys for the approval of a *Specific Use Permit (SUP)* for a *Towing*
191 *and Impound Yard* on a 1.8040-acre tract of land identified as Tract 2-8 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County,
192 Texas, zoned Heavy Commercial (HC) District, addressed as 227 National Drive, and take any action necessary.
193

194 Planner Henry Lee provided a brief summary and background in regards to the request. After looking at the aerials and their approved CO
195 (Certificate of Occupancy). It was determined that it was for a personal office but that was not the use being allocated currently. They do have an
196 SUP for a Towing Yard for only one lot but have been using both for that purpose.
197

198 Kim Lemmond

199 **3410 Augusta Blvd.**
200 **Rockwall, TX 75087**

201
202 **Mr. Lemmond came forward and provided additional details in regards to the request.**

203
204 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.**

205
206 **14. Z2022-018 (ANGELICA GAMEZ)**

207 Hold a public hearing to discuss and consider a request by Carlos and Crystal Solis for the approval of a Specific Use Permit (SUP) for an *Accessory Building*
208 on a 3.02-acre parcel of land identified as Lot 7R of the Lofland Estates No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate
209 2.0 (SFE-2.0) District, addressed as 2914 FM-549, and take any action necessary.

210
211 **Planning Coordinator Angelica Gamez provided a brief summary in regards to the request.**

212
213 **Carlos and Crystal Solis**
214 **2914 FM -549**
215 **Rockwall, TX 75032**

216
217 **The applicants came forward and provided additional details in regards to the request.**

218
219 **Commissioner Moeller asked if this was going to be made out of the same materials or similar to the home.**

220
221 **Planning Coordinator Gamez asked what the structure shown in the aerial was.**

222
223 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.**

224
225 **15. Z2022-019 (RYAN MILLER)**

226 Hold a public hearing to discuss and consider a request by Fred Gans of CDC Equities, LLC for the approval of a Zoning Change from an Agricultural (AG)
227 District and Commercial (C) District to a Planned Development District for limited Commercial (C) District land uses on a 13.55-acre tract of land identified as
228 Lots 8R, 9R & 10 of the Rainbow Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District,
229 addressed as 5879, 5917 & 5981 FM-3097 [*Horizon Road*], and take any action necessary.

230
231 **Director of Planning and Zoning Ryan Miller provided a brief summary and background in regards to the request.**

232
233 **Mathias Albert**
234 **6017 Main Street**
235 **Frisco, TX 75034**

236
237 **Mr. Albert came forward and provided additional details in regards to the request.**

238
239 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.**

240
241 **16. Z2022-020 (RYAN MILLER)**

242 Hold a public hearing to discuss and consider a request by Hellen Byrd on behalf of Donald Valk for the approval of a Zoning Change from an Agricultural
243 (AG) District to a Light Industrial (LI) District for a 14.78-acre tract of land identified as Tracts 8 & 8-1 of the J. H. Bailey Survey, Abstract No. 34, City of
244 Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 4649 SH-276,
245 and take any action necessary.

246
247 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request.**

248
249 **Hellen Byrd**
250 **833 Mildren Lane**
251 **Fate, TX 75087**

252
253 **Mrs. Byrd came forward and provided additional details in regards to the request.**

254
255 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.**

256
257 **17. Z2022-021 (ANGELICA GAMEZ)**

258 Hold a public hearing to discuss and consider a request by Ruben Chapa for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established*
259 *Subdivision* for the purpose of constructing a single-family home on a 0.1214-acre parcel of land identified as Lot 22, Block B, Chandler's Landing, Phase 4
260 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 5405
261 Ranger Drive, and take any action necessary.

262
263 **Planning and Zoning Coordinator Angelica Gamez provided a brief summary in regards to the request.**

264
265 **Ruben Chapa**
266 **342 Rosemary Drive**

267 Wylie, TX 75098

268
269 Mr. Chapa came forward and was prepared to answer questions.

270
271 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.

272
273 18. P2022-015 (HENRY LEE)

274 Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a Preliminary Plat for the Vallis
275 Greene Subdivision consisting of 182 single-family residential lots on a 93.97-acre tract of land identified as Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No.
276 No. 122 and a portion of Tract 25-1 & 26 and all of Tract 13 & 25 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas,
277 zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District,
278 addressed as 1936 SH-66, and take any action necessary.

279
280 Planner Henry Lee advised that this item was on Discussion due to it needing to go before Parks Board on May 3, 2022.

281
282 Michael Joyce Properties
283 767 Justin Road
284 Rockwall, TX 75087

285
286 A representative came forward and provided additional details in regards to the request.

287
288 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.

289
290 19. P2022-016 (HENRY LEE)

291 Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a Master Plat for the Vallis Greene
292 Subdivision consisting of 182 single-family residential lots on a 93.97-acre tract of land identified as Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No.
293 122 and a portion of Tract 25-1 & 26 and all of Tract 13 & 25 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned
294 Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, addressed
295 as 1936 SH-66, and take any action necessary.

296
297 Planner Henry Lee advised that this item was on Discussion due to it needing to go before Parks Board on May 3, 2022.

298
299 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.

300
301 20. P2022-017 (HENRY LEE)

302 Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of John Arnold of Falcon Place SF, LTD for the approval of a Final
303 Plat for the Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04
304 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-
305 Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

306
307 Planner Henry Lee advised that this item was on Discussion due to it needing to go before Parks Board on May 3, 2022.

308
309 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.

310
311 21. P2022-018 (BETHANY ROSS)

312 Hold a public hearing to discuss and consider a request by Brian Jones for the approval of a Replat for Lots 1-3, Block A, North Alamo Addition being a
313 2.1325-acre tract of land identified as Block 15, 15B, 15C & 16 of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-
314 10) District, addressed as 401, 405, 501 & 503 N. Alamo Road, and take any action necessary.

315
316 Planner Bethany Ross provided a brief summary in regards to the request.

317
318 Brian Jones
319 Rockwall, TX 75087

320
321 Mr. Jones came forward and provided additional details in regards to the request.

322
323 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.

324
325 22. P2022-020 (HENRY LEE)

326 Discuss and consider a request by Heather Cullins on behalf of Shirley Smith of Smith Family Acres, LLC for the approval of a Preliminary Plat for the Smith
327 Family Acres Subdivision consisting of four (4) single-family residential lots on a 44.525-acre tract of land identified as Tract 7-1 of the J. Strickland Survey,
328 Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses,
329 generally located on the west side of John King Boulevard north of the intersection of John King Boulevard and FM-552, and take any action necessary.

330
331 Planner Henry Lee advised that this item was on Discussion due to it needing to go before Parks Board on May 3, 2022.

332
333 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.

335 23. **SP2022-015 (HENRY LEE)**
336 Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of John Arnold of Falcon Place SF, LTD for the approval of a Site
337 Plan for the Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04
338 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-
339 Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

340
341 **Planner Henry Lee provided a brief summary in regards to the request. Currently, staff is working through project comments with the applicant.**

342
343 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.**
344

345 24. **SP2022-016 (HENRY LEE)**
346 Discuss and consider a request by Charles Smith of Incognito Winery on behalf of Charles Smith of Dynacap Holdings, LTD the approval of a Site Plan for a
347 Craft Winery on a 2.202-acre tract of land identified as Tract 12 of the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned
348 Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1541 IH-30, and take any action necessary.

349
350 **Planner Henry Lee provided a brief summary in regards to the request. The applicant was previously approved for a variance for this location for**
351 **the sale of alcohol within 300-feet of a house of worship. As part of that case, the applicant was notified that they will need to prove how they will**
352 **park the site via site plan since they are currently under parked. The applicant has provided a site plan for a craft winery at this site and they will**
353 **need 12 spaces. Back in September 2021, the applicant had spoken to staff about parking requirements. The applicant was recalling that they**
354 **would only be needing 8 parking spaces but that's not what the requirements call for.**

355
356 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.**
357

358 25. **SP2022-017 (BETHANY ROSS)**
359 Discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD)
360 for the approval of a Site Plan for a Public Secondary School on a 76.068-acre tract of land identified as Tracts 14-01 & 14-11 of the J. M. Glass Survey,
361 Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 94 (PD-94) for limited Neighborhood Services (NS) District
362 land uses, generally located at the northwest corner of the intersection of FM-1141 and E. Quail Run Road, and take any action necessary.

363
364 **Planner Bethany Ross provided a brief summary in regards to the request.**

365
366 **Will Salee**
367 **1050 Williams Street**
368 **Rockwall, TX 75087**
369

370 **Mr. Salee came forward and provided additional details in regards to the request.**

371
372 **Director Miller added that a photometric plan was still needed. He also asked if there were going to be more structures on the facility. Director**
373 **Miller also advised that Staff was working with the school district in regards to infrastructure issues so this item might not come back on the May**
374 **10th meeting.**

375
376 **Chairman Chodun advised that the item may be brought back to the Commission for discussion or action on May 10, 2022.**
377

378 26. **SP2022-018 (BETHANY ROSS)**
379 Discuss and consider a request by Robert Howman of Glenn Engineering Corp. on behalf of William Salee of the Rockwall Independent School District (RISD)
380 for the approval of a Site Plan for a Public Secondary School a 173.00-acre tract of land identified as Tract 7-1 of the W. H. Baird Survey, Abstract No. 25
381 and Lot 1, Block A, Rockwall CCA Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 95 (PD-95) for limited
382 Neighborhood Services (NS) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, addressed as 2301 John King
383 Boulevard, and take any action necessary.

384
385 **Planner Bethany Ross provided a brief summary in regards to the request. In this area, the applicant will have to meet the SH-205 Bypass Overlay**
386 **district standards.**

387
388 **Mr. Salee came forward and provided additional details in regards to the request. He added that a photometric plan will also be provided and the**
389 **same structures will be provided.**

390
391 **Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.**
392

393 27. **SP2022-019 (RYAN MILLER)**
394 Discuss and consider a request by Richard Sullivan on behalf of Reid Caldwell of Rockwall Urban Industrial, LP for the approval of an Amended Site Plan for
395 Outside Storage on a 1.89-acre tract of land identified as Lot 3, Block D, Ellis Centre #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Light
396 Industrial (LI) District, addressed as 1910 Alpha Drive, and take any action necessary.

397
398 **Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting an amended site plan**
399 **for outside storage. The applicants had recently come in for a site plan where it was stated that there would not be any outside storage. A**
400 **prospective tenant came in and inquired about outside storage and was informed that they will not be allowed to have it. Outside storage is**
401 **permitted in a Light Industrial (LI) District but it does need to be screened. Another issue with the property is that they put in fencing without a**

402 permit and it is currently a fire lane and access easement. The final issue is the area where they currently have the outside storage at is a water
403 line easement. Director Miller then advised that he available for questions.

404
405 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.

406
407 28. **SP2022-020 (HENRY LEE)**

408 Discuss and consider a request by Mark Griffin of Linear Architecture, LLC on behalf of Roland C. Spongberg of WKS Frosty Corp. for the approval of an
409 Amended Site Plan for an existing Restaurant with Drive-Through on a 0.964-acre parcel of land identified as Lot 3R, Block A, Rockwall Towne Center, Phase
410 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2545
411 Ridge Road, and take any action necessary.

412
413 Planner Henry Lee provided a brief summary in regards to the request.

414
415 Chairman Chodun advised that the item will be brought back to the Commission for discussion or action on May 10, 2022.

416
417 29. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- 418
419 • Z2022-010: Zoning Change (AG to PD) for Vallis Greene [APPROVED; 2ND READING]
420 • Z2022-013: Specific Use Permit (SUP) for Residential Infill at 130 Chris Drive [APPROVED; 1ST READING]
421 • Z2022-014: Zoning Change (AG to PD) for the RISD [APPROVED; 1ST READING]
422 • Z2022-015: Zoning Change (AG to PD) for the RISD [APPROVED; 1ST READING]

423
424 Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

425
426 VII. ADJOURNMENT

427
428 Chairman Chodun adjourned the meeting at 7:52 PM.

429
430 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
431 _____, 2022.

432
433 _____
434 Eric Chodun, Chairman

435 Attest:

436 _____
437 Angelica Gamez



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 10, 2022
APPLICANT: Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER: P2022-015; *Preliminary Plat for Vallis Greene*

SUMMARY

Consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a Preliminary Plat for the Vallis Greene Subdivision consisting of 182 single-family residential lots on a 93.97-acre tract of land identified as Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No. 122 and a portion of Tract 25-1 & 26 and all of Tract 13 & 25 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Preliminary Plat a 93.97-acre parcel of land (*i.e. Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No. 122 and a portion of Tract 25-1 & 26 and all of Tract 13 & 25 of the W. M. Dalton Survey, Abstract No. 72*) to show the future establishment of 182 single-family residential lots and six (6) open space lots (*i.e. Lots 1-25, Block A; Lots 1-21, Block B; Lots 1-24, Block C; Lots 1-16, Block D; Lots 1-32, Block E; Lots 1-13, Block F; Lots 1-8, Block G; Lots 1-31, Block H; Lots 1-18, Block I Vallis Greene Subdivision*). The proposed Preliminary Plat also lays out the necessary easements (*e.g. fire lane, public access/right-of-way, utilities, and drainage*) for the future development of the residential subdivision. Staff should note that the applicant has submitted a Master Plat [*i.e. Case No. P2022-016*] concurrently with this Preliminary Plat.
- The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is: [1] a 2,500 SF single-family home constructed in 1958, [2] a ~1,856 SF covered porch constructed in 1958, [3] a 400 SF storage building constructed in 1900, and [4] a 96 SF storage building with a 240 SF covered canopy constructed in 2007. On April 18, 2022, the City Council approved a zoning change [*Case No. Z2022-010; Ordinance No. 22-22*] for the subject property from Agricultural (AG) District to Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses.
- On May 3, 2022, the Parks and Recreation Board reviewed the Preliminary Plat and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall use the pro-rata equipment fees of \$105,014.00 (*i.e. \$577.00 x 182 Lots*) and the cash-in-lieu of land fees of \$110,838.00 (*i.e. \$609.00 x 182 Lots*) to provide amenity to the four (4) acre tract of land (*i.e. Tract 13-01 of the W. M. Dalton Survey, Abstract No. 72*) in accordance with *Ordinance No. 22-22 (i.e. Planned Development District 93 [PD-93])*.
 - (2) The property owner shall provide receipts to the Director of Parks and Recreation showing that the amenities provided are equal to or greater than the fees assessed.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Preliminary Plat for the *Vallis Greene Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,
- (2) The development shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-015

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1649 Fm 1141, Rockwall TX 75087

SUBDIVISION ABS A0122, MB Jones, Tract 4-01 LOT BLOCK

GENERAL LOCATION Approx. 1250 feet east of the intersection John King & Fm 1141, South of Fm 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural

CURRENT USE Agricultural

PROPOSED ZONING Planned Development District PROPOSED USE Single Family

ACREAGE 94.13 Acres LOTS [CURRENT] 1 LOTS [PROPOSED] 182

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

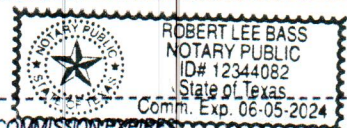
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Peoples [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

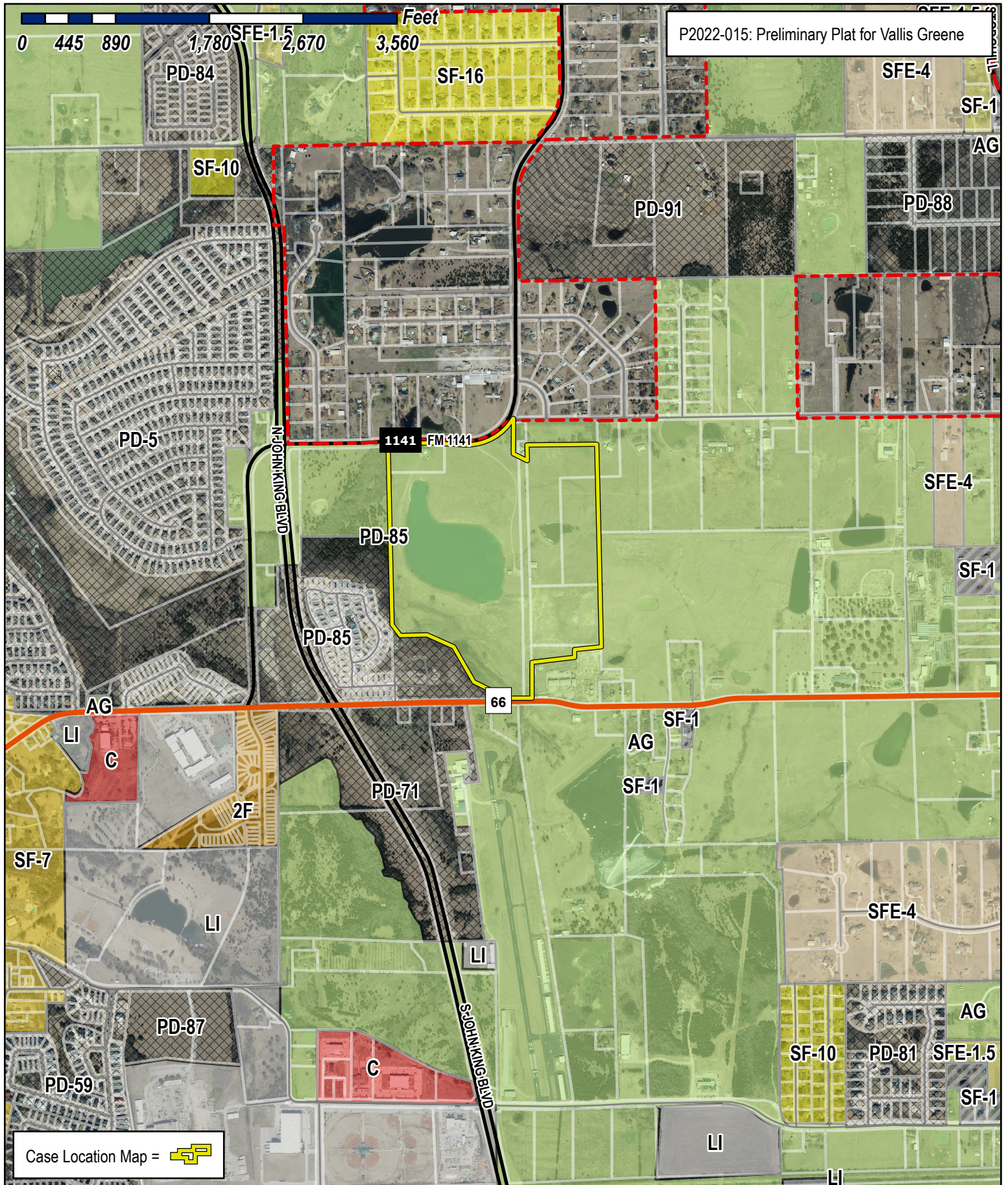
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4 DAY OF April, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 

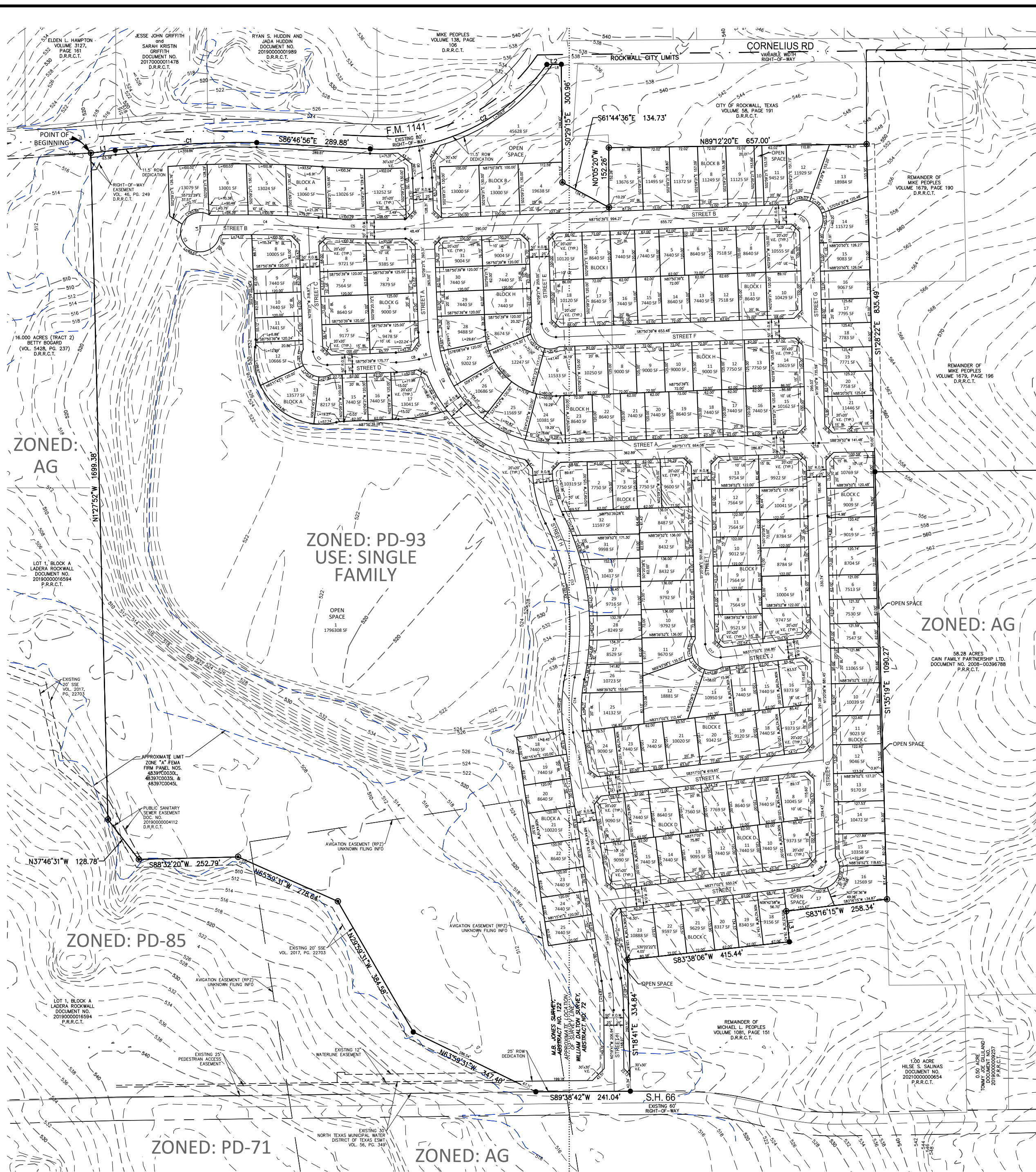


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



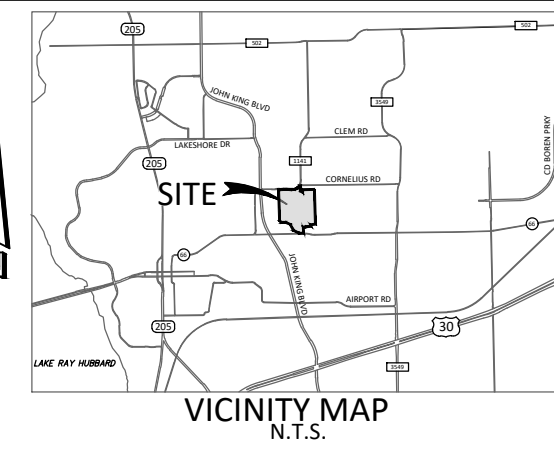


OPEN SPACE	ACRES
FLOOD PLAIN	29.72
OTHER	13.06
TOTAL	42.78
OPEN SPACE RATIO*	
[(29.72/2) + 13.06] / 94.13 = 29.7%	

*ASSUMING HALF OF FLOODPLAIN

GENERAL NOTES:

- OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
- THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
 - WATER - CONNECTIONS TO EXISTING WATER LINES AT SH 66 AND FM 1141
 - WASTEWATER - CONNECTION TO EXISTING WASTEWATER LINE AT SH 66
 - ROADWAY - CONNECTIONS TO EXISTING ROADWAYS SH 66 & FM 1141
 - DRAINAGE - DRAINAGE TO SQUABBLE CREEK AND GREENE'S LAKE



LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- 1/2" IRF (unless otherwise noted)

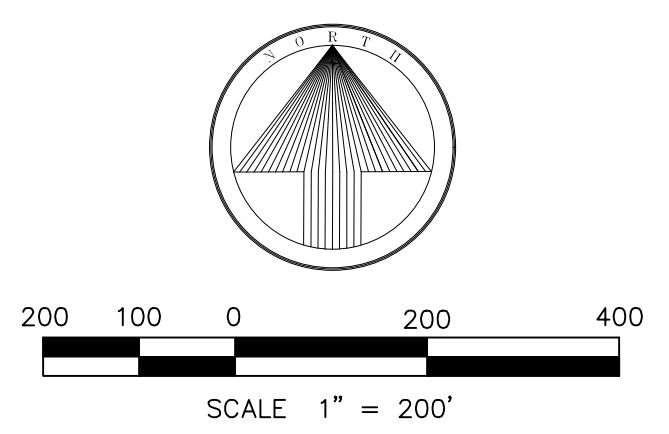
AC Acre
 BL Building Line
 C1 Curve No.
 <CM> Control Monument
 DE Drainage Easement
 DUE Drainage Utility Easement
 Esmt Easement
 L1 Line No.
 SF Square Feet
 UE Utility Easement
 VE Visibility Easement
 D.R.R.C.T. = Deed Records of Rockwall County, Texas

Line Table

Line	Length	Direction
L1	62.35	N83° 33' 49"E
L2	37.01	N89° 31' 25"E
L3	78.43	S5° 53' 32"E
L4	16.92	N2° 26' 57"W
L5	12.35	S10° 09' 37"E
L6	32.71	S76° 39' 04"W
L7	14.15	N89° 31' 25"E
L8	22.86	N89° 31' 25"E

Curve Table

Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	361.57	2824.93	007°20'00"	361.32	N86° 53' 49"E
C2	520.55	517.68	057°36'49"	498.90	N64° 24' 40"E
C3	164.63	50.00	188°39'09"	99.72	S69° 57' 14"E
C4	301.18	2615.00	006°35'56"	301.01	N89° 08' 59"W
C5	222.86	2025.00	006°18'20"	222.74	S89° 00' 11"E
C6	69.85	500.00	008°00'17"	69.80	N06° 09' 29"W
C7	54.98	35.00	090°00'00"	49.50	S47° 09' 21"E
C8	58.61	300.00	011°11'35"	58.51	N82° 14' 52"E
C9	502.66	320.00	090°00'01"	452.55	S47° 09' 21"E
C10	55.29	35.00	090°30'10"	49.71	N46° 54' 16"W
C11	54.98	35.00	090°00'00"	49.50	S47° 09' 21"E
C12	174.43	295.00	033°52'42"	171.90	S09° 21' 48"E
C13	414.40	625.00	037°59'23"	406.85	N07° 18' 28"W
C14	140.82	395.00	020°25'33"	140.07	S01° 28' 27"W
C15	78.53	535.00	008°24'38"	78.46	N04° 32' 00"W
C16	51.69	35.00	084°37'10"	47.12	N40° 58' 27"E
C17	58.26	35.00	095°22'50"	51.77	S49° 01' 33"E
C18	14.32	1000.00	000°49'13"	14.32	S88° 15' 16"W



**PRELIMINARY PLAT
VALLIS GREENE**

LOTS 1-25, BLOCK A; LOTS 1-21, BLOCK B;
 LOTS 1-32, BLOCK C; LOTS 1-16, BLOCK D;
 LOTS 1-24, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-8, BLOCK G; LOTS 1-31, BLOCK H;
 LOTS 1-18, BLOCK I
 94.133 ACRES OR 4,100,433.48 SQ. FT.
 182 SINGLE FAMILY LOTS AND
 6 OPEN SPACE LOTS
 SITUATED WITHIN A PORTION OF TRACT 25-1 & 26 AND
 ALL OF TRACT 13 & 25 OF THE
 WILLIAM DALTON SURVEY, ABSTRACT NO. 72
 AND TRACT 4 & 4-01 OF THE
 M.B. JONES SURVEY, ABSTRACT NO. 122
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 P2022-015

May 2, 2022
 SHEET 1 OF 2

Owner/Applicant:
 Michael Joyce Properties
 3767 Justin Road
 Rockwall, Texas 75087
 Phone: 512-965-6280

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Joel Richey, PE



LEGAL DESCRIPTION:

BEING a tract of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72 and the M.B. JONES SURVEY, ABSTRACT NO. 122, City of Rockwall, Rockwall County, Texas and being part of that tract of land described in Deed to Mike L. Peoples, as recorded in Volume 850, Page 15; Deed Records, Rockwall County, Texas and being part of that tract of land described as 0.64 Acre Tract in Deed to Mike Peoples, as recorded in Volume 138, Page 106, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 190, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 196, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Michael L. Peoples, as recorded in Volume 1081, Page 151, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found in the south line of Farm to Market Road No. 1141, an 80 foot right-of-way, for the northwest corner of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE Easterly, with said south line, the following four (4) courses and distances:

North 83 degrees 33 minutes 49 seconds East, a distance of 62.35 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the right having a central angle of 07 degrees 20 minutes, a radius of 2,824.93 feet and a chord bearing and distance of North 86 degrees 53 minutes 49 seconds East, 361.32 feet;

Easterly, with said curve to the right, an arc distance of 361.57 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

South 86 degrees 46 minutes 56 seconds East, a distance of 289.88 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the left having a central angle of 57 degrees 36 minutes 49 seconds, a radius of 517.68 feet and a chord bearing and distance of North 64 degrees 24 minutes 40 seconds East, 498.90 feet;

Northeasterly, with said curve to the left, an arc distance of 520.55 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the intersection of said south line with the south line of Cornelius Road, a 60 foot right-of-way;

THENCE North 89 degrees 31 minutes 25 seconds East, leaving said south line of Farm to Market Road No. 1141 and with said south line of Cornelius Road, a distance of 37.01 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 00 degrees 29 minutes 15 seconds East, leaving said south line and generally with an existing fence, a distance of 300.96 feet to a fence corner post found for corner;

THENCE South 61 degrees 44 minutes 36 seconds East, generally with an existing fence, a distance of 134.73 feet to a fence corner post found for corner;

THENCE North 00 degrees 05 minutes 20 seconds West, generally with an existing fence, a distance of 152.26 feet to a fence corner post found for an exterior ell corner of that tract of land described in Deed to City of Rockwall, Texas, as recorded in Volume 58, Page 191, Deed Records, Rockwall County, Texas;

THENCE North 89 degrees 12 minutes 20 seconds East, with the south line of said City of Rockwall, Texas tract and generally with an existing fence, a distance of 657.00 feet to a fence corner post found for the southeast corner of said City of Rockwall, Texas tract;

THENCE South 01 degrees 28 minutes 22 seconds East, a distance of 835.49 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of that tract of land described in Deed to Cain Family Partnership Ltd., as recorded in Document No. 2008-00396788, Deed Records, Rockwall County, Texas and an interior ell corner of said Mike Peoples tract recorded in Volume 1679, Page 196;

THENCE South 01 degrees 35 minutes 19 seconds East, a distance of 1,090.27 feet to a fence corner post found for corner in the common east line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and west line of said Cain Family Partnership Ltd. tract;

THENCE South 83 degrees 16 minutes 15 seconds West, leaving said common line and generally with an existing fence, a distance of 258.34 feet to a fence corner post found for corner;

THENCE South 05 degrees 53 minutes 32 seconds East, generally with an existing fence, a distance of 78.43 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 83 degrees 38 minutes 06 seconds West, a distance of 415.44 feet to a fence corner post found for corner in the common west line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and east line of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE South 01 degrees 18 minutes 41 seconds East, with said common line, a distance of 334.84 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set in the north line of State Highway No. 66, a variable width right-of-way, for the common southeast corner of said Mike L. Peoples tract recorded in Volume 850, Page 15 and southwest corner of said Michael L. Peoples tract recorded in Volume 1081, Page 151;

THENCE South 89 degrees 38 minutes 42 seconds West, with said north line, a distance of 241.04 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the southeast corner of Lot 1, Block A of LADERA ROCKWALL, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Document No. 2019000016594, Plat Records, Rockwall County, Texas;

THENCE Northwesterly, with the north line of said Lot 1, the following five (5) courses and distances:

North 63 degrees 59 minutes 31 seconds West, leaving said north line of State Highway No. 66, a distance of 347.40 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

North 29 degrees 59 minutes 31 seconds West, a distance of 384.58 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 65 degrees 59 minutes 31 seconds West, a distance of 278.64 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

South 88 degrees 32 minutes 20 seconds West, a distance of 252.79 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 37 degrees 46 minutes 31 seconds West, a distance of 128.78 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found in the west line of said Mike L. Peoples tract recorded in Volume 850, Page 15 for an interior ell corner of said Lot 1;

THENCE North 01 degrees 27 minutes 52 seconds West, with said west line, a distance of 1,699.38 feet to the POINT OF BEGINNING and containing 94.133 acres of land, more or less.

SURVEYOR'S CERTIFICATE:

To MRJOYCE, LLC; MIKE L. PEOPLES; ALLEGIANCE TITLE COMPANY; and TITLE RESOURCES GUARANTY COMPANY;

I, Ryan S. Reynolds, a Registered Professional Land Surveyor in the State Of Texas, do hereby certify that this plat is based on an actual on the ground survey made under my direct supervision and all corners are monumented as shown hereon. Except as shown, there are no visible encroachments, conflicts or protrusions apparent on the ground.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RYAN S. REYNOLDS
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6385

SURVEYED ON THE GROUND: FEBRUARY 28, 2022

SCHEDULE B NOTES:

10e. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 256, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10f. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 267, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10g. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 268, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10h. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 40, PAGE 193, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

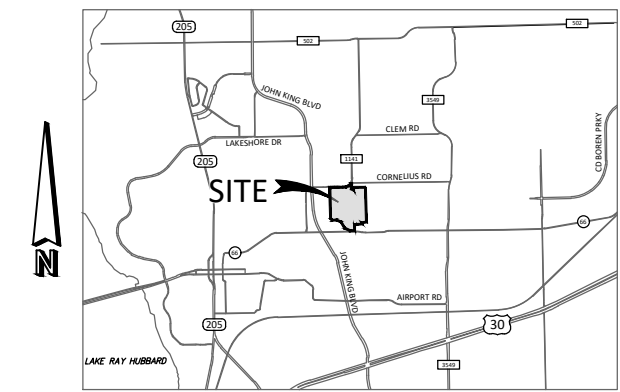
10i. EASEMENT TO STATE OF TEXAS RECORDED IN VOLUME 45, PAGE 266, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (AS SHOWN ON SURVEY)

10j. EASEMENT TO STATE OF TEXAS RECORDED IN VOLUME 46, PAGE 249, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (AS SHOWN ON SURVEY)

10k. EASEMENT TO NORTH TEXAS MUNICIPAL WATER DISTRICT RECORDED IN VOLUME 54, PAGE 199, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10l. EASEMENT TO NORTH TEXAS MUNICIPAL WATER DISTRICT RECORDED IN VOLUME 54, PAGE 394, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10m. EASEMENT TO CITY OF ROCKWALL RECORDED IN DOCUMENT NO. 2019-4112, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (AS SHOWN ON SURVEY)



NOTES:

1. BASIS OF BEARINGS DERIVED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, NORTH CENTRAL ZONE. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.

2. THE SUBJECT TRACT LIES WITHIN ZONE X (UNSHADED), DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AND ZONE A, DEFINED AS "SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) AS SHOWN ON COMMUNITY PANEL NOS. 48397C0030L AND 48397C0035L, DATED SEPTEMBER 26, 2008 FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS.

3. SURVEYOR ADDRESSED ONLY THOSE ITEMS LISTED IN TITLE RESOURCES GUARANTY COMPANY'S COMMITMENT FOR TITLE INSURANCE, G.F. NO. 22135356-10GH, EFFECTIVE DATE FEBRUARY 16, 2022 AND ISSUED FEBRUARY 22, 2022. NO FURTHER RESEARCH WAS PERFORMED BY SURVEYOR.

4. VISIBLE IMPROVEMENTS/UTILITIES WERE NOT LOCATED WITH THIS SURVEY, NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED FOR THIS SURVEY.

5. FENCES SHOWN HEREON ARE GRAPHIC ONLY AND MAY MEANDER BETWEEN MEASURED LOCATIONS.

6. THE ACREAGE TOTALS AS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THIS SURVEY. THEY DO NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.

7. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR THE PARTIES CERTIFIED TO HEREON AND REMAINS THE PROPERTY OF THE SURVEYOR. THE UNAUTHORIZED USE OR REUSE OF THIS SURVEY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SURVEYOR IS NOT PERMITTED. THE USE OF THIS SURVEY BY ANYONE OTHER THAN THE CERTIFIED PARTIES OR FOR ANY UNINTENDED USE WILL REMOVE SURVEYOR FROM BURDEN OF ANY DAMAGES INCURRED.

8. THE TERM "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON INDICATES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED; AND IS EXCLUSIVELY TO THE PARTIES INVOLVED IN AND LIMITED TO THE TRANSACTION CLOSING AT THE TITLE COMPANY INDICATED HEREON.

**PRELIMINARY PLAT
VALLIS GREENE**

LOTS 1-25, BLOCK A; LOTS 1-21, BLOCK B;
LOTS 1-24, BLOCK C; LOTS 1-16, BLOCK D;
LOTS 1-32, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-8, BLOCK G; LOTS 1-31, BLOCK H;
LOTS 1-18, BLOCK I

94.133 ACRES OR 4,100,433.48 SQ. FT.
182 SINGLE FAMILY LOTS AND
6 OPEN SPACE LOTS

SITUATED WITHIN A PORTION OF TRACT 25-1 & 26 AND
ALL OF TRACT 13 & 25 OF THE

WILLIAM DALTON SURVEY, ABSTRACT NO. 72

AND TRACT 4 & 4-01 OF THE

M.B. JONES SURVEY, ABSTRACT NO. 122

**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**

P2022-015

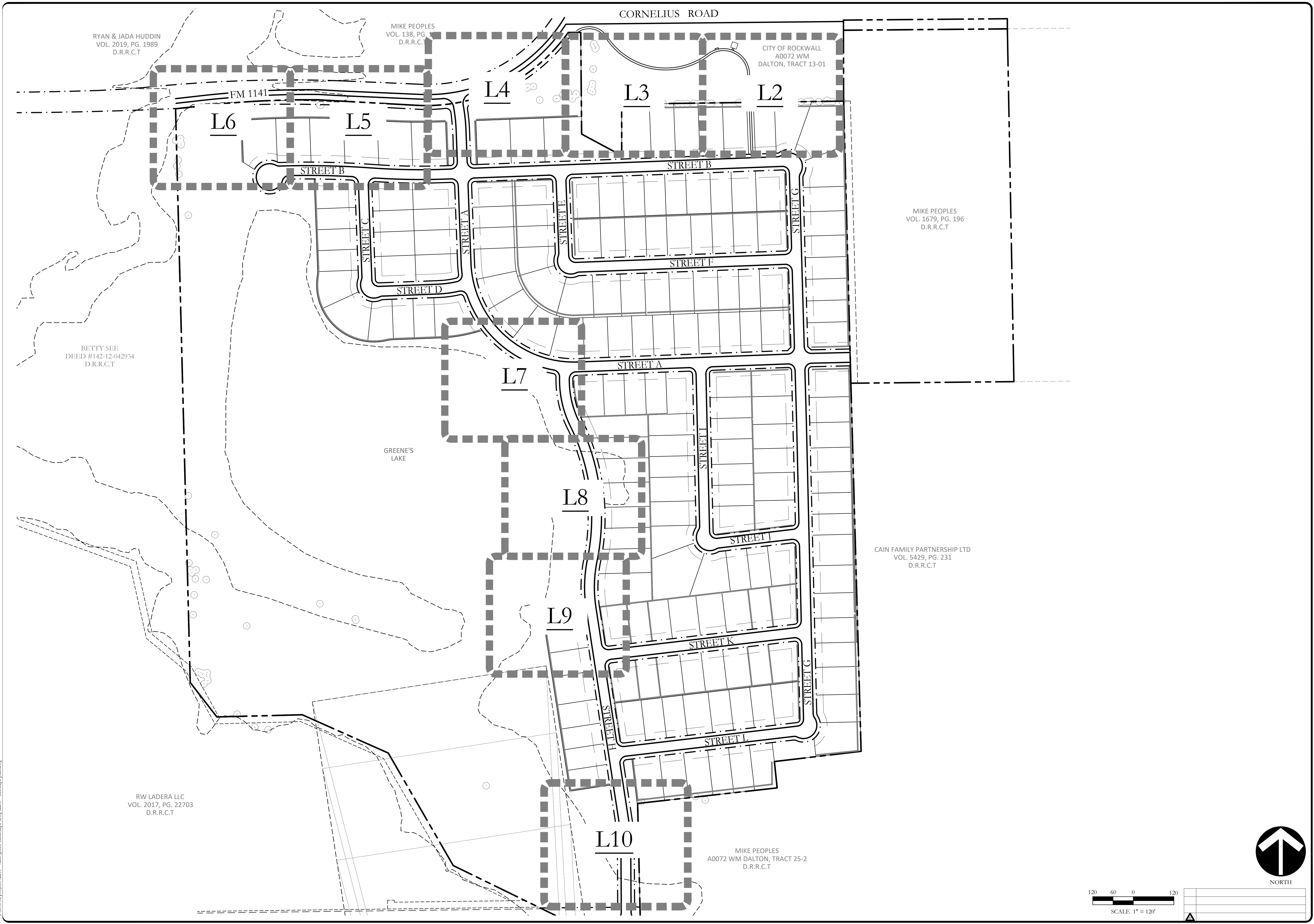
May 2, 2022

SHEET 2 OF 2

Owner/Applicant:
Michael Joyce Properties
3767 Justin Road
Rockwall, Texas 75087
Phone: 512-965-6280

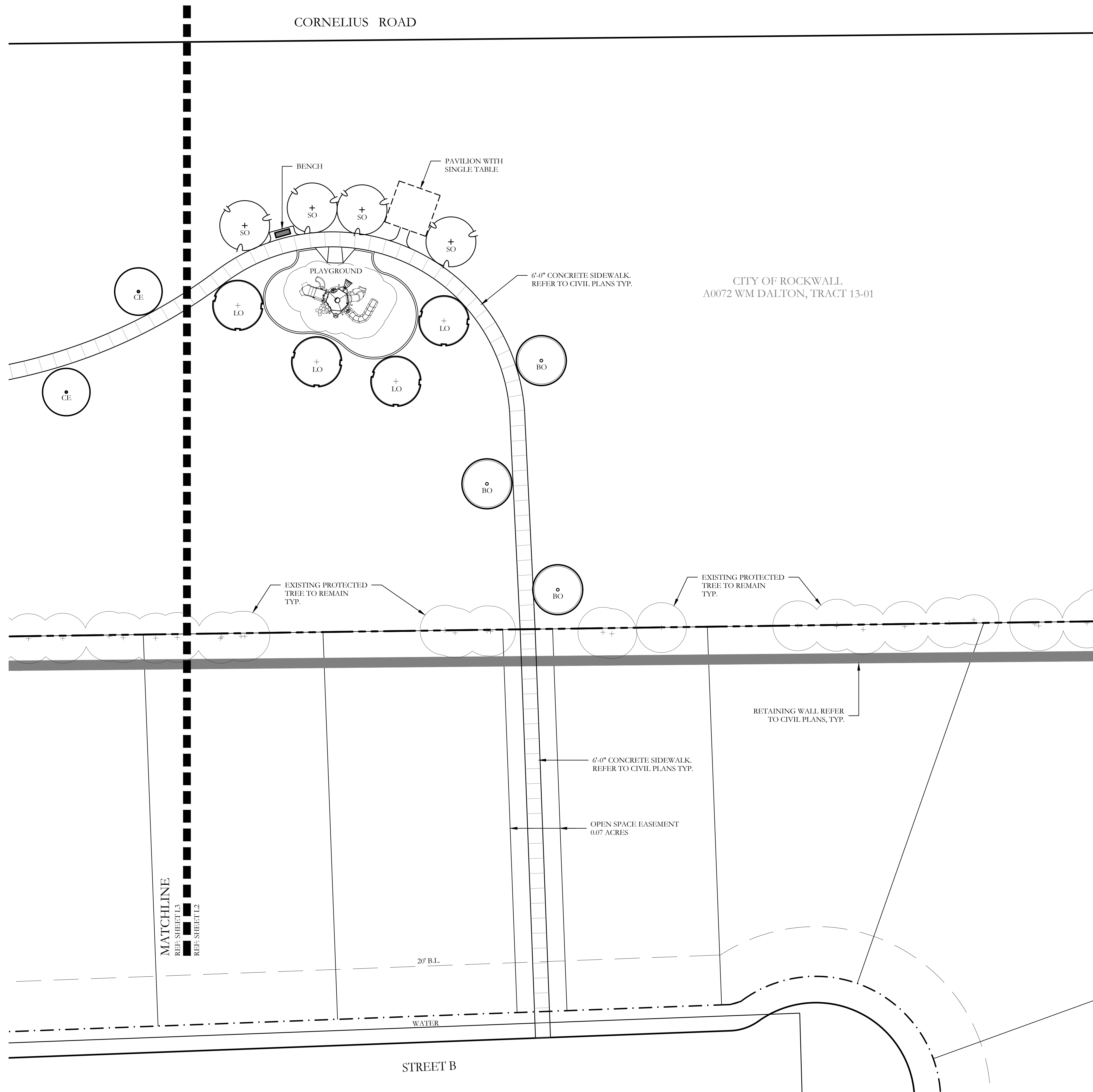
Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE





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CORNELIUS ROAD

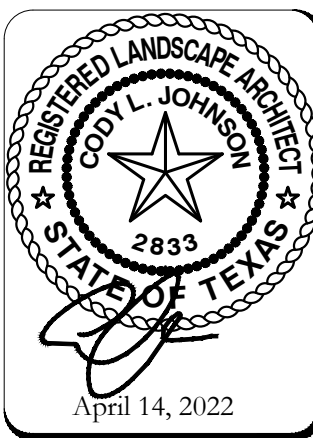
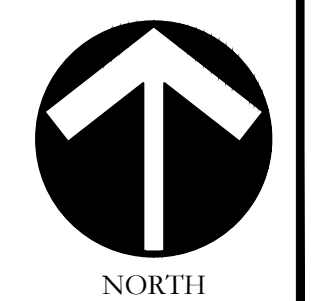
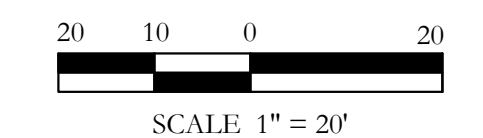


CITY OF ROCKWALL
A0072 WM DALTON, TRACT 13-01

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

MATCHLINE
REF. SHEET L3
REF. SHEET L2

STREET B



CORNELIUS ROAD

CITY OF ROCKWALL
A0072 WM DALTON, TRACT 13-01

6'-0" CONCRETE SIDEWALK.
REFER TO CIVIL PLANS TYP.

EXISTING PROTECTED
TREE TO REMAIN
TYP.

RETAINING WALL REFER
TO CIVIL PLANS, TYP.

EXISTING PROTECTED
TREE TO REMAIN
TYP.

MATCHLINE
REF: SHEET L4
REF: SHEET L3

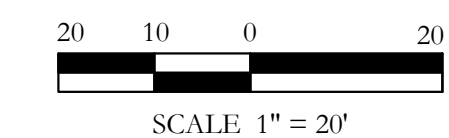
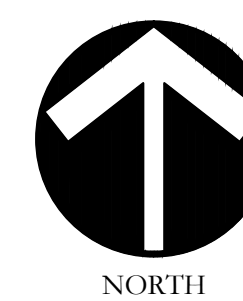
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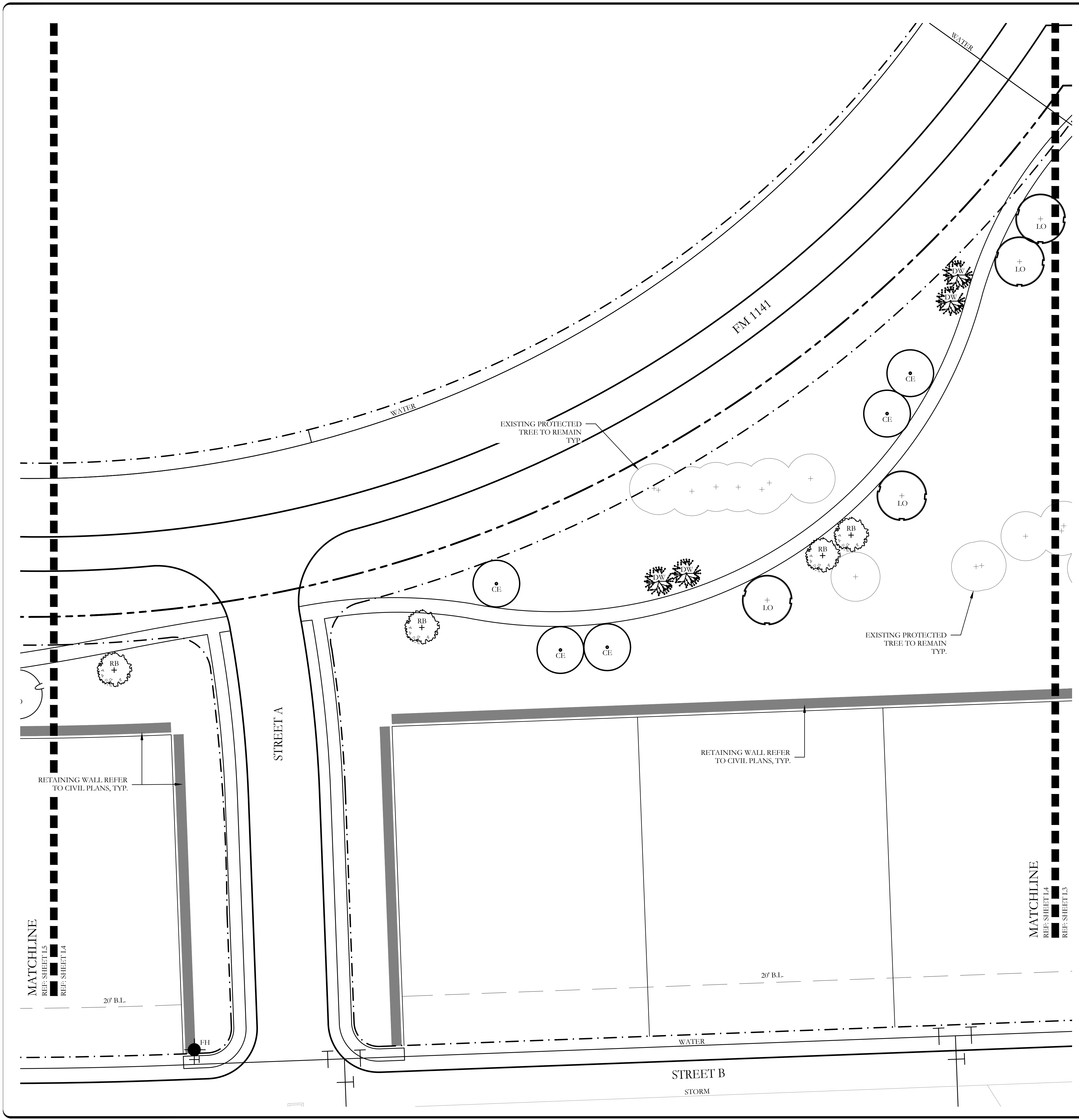
20' B.I.

STREET B

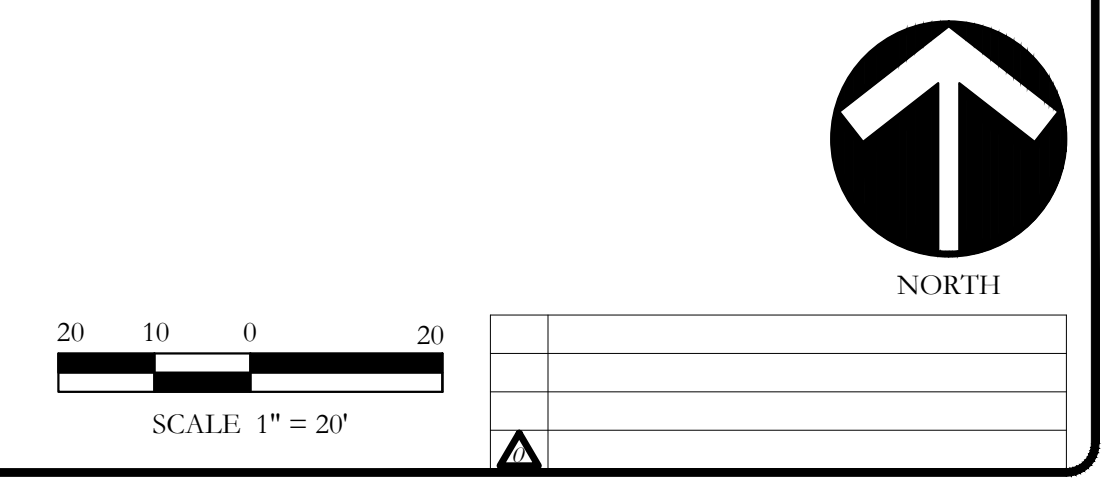
PLANT LEGEND

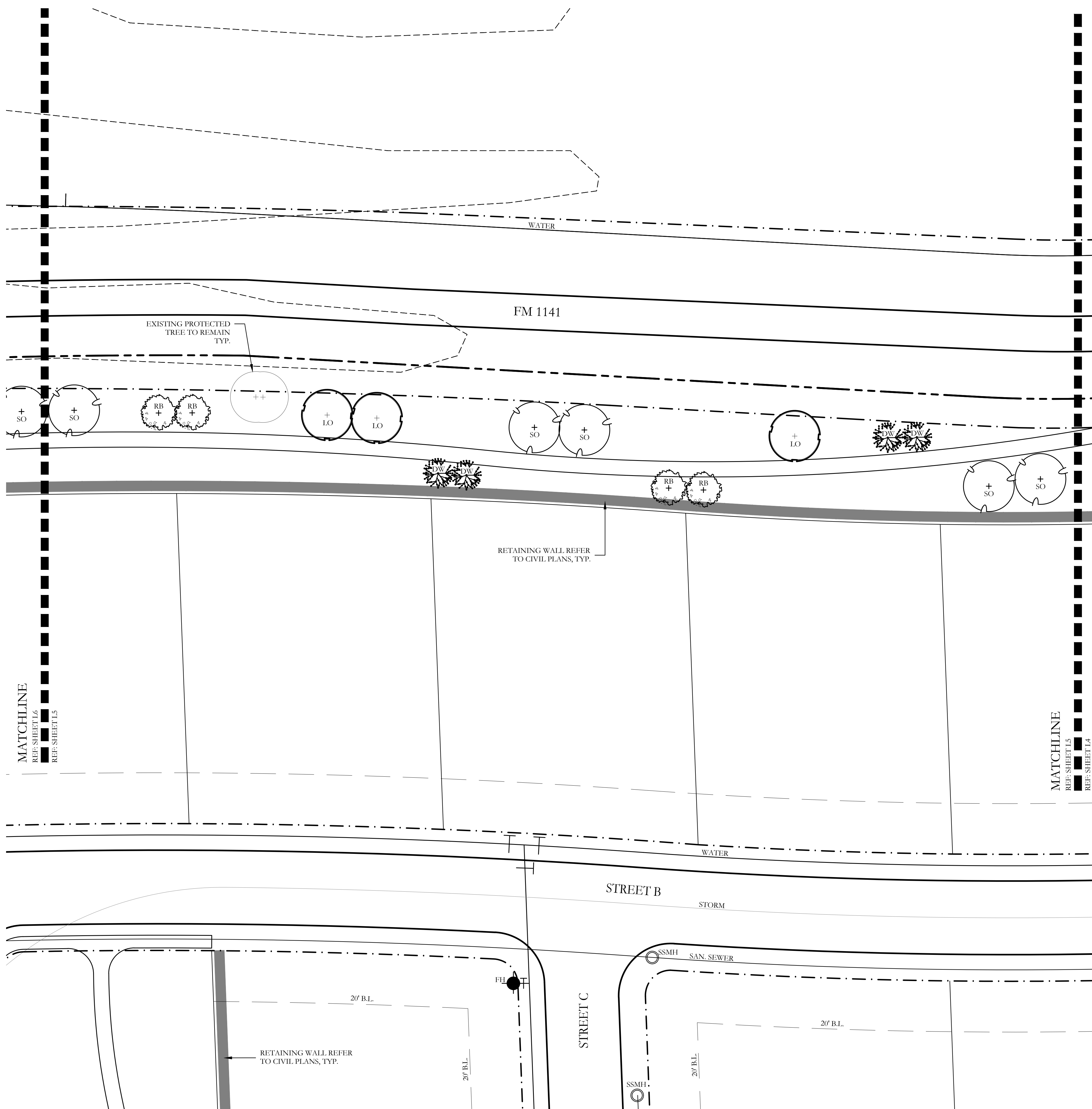
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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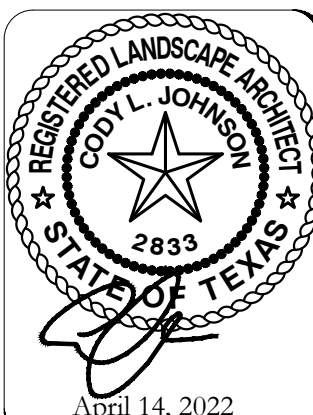
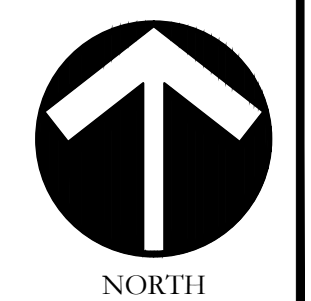
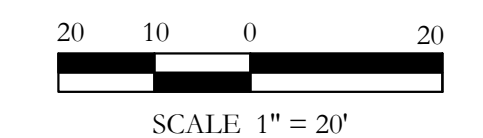


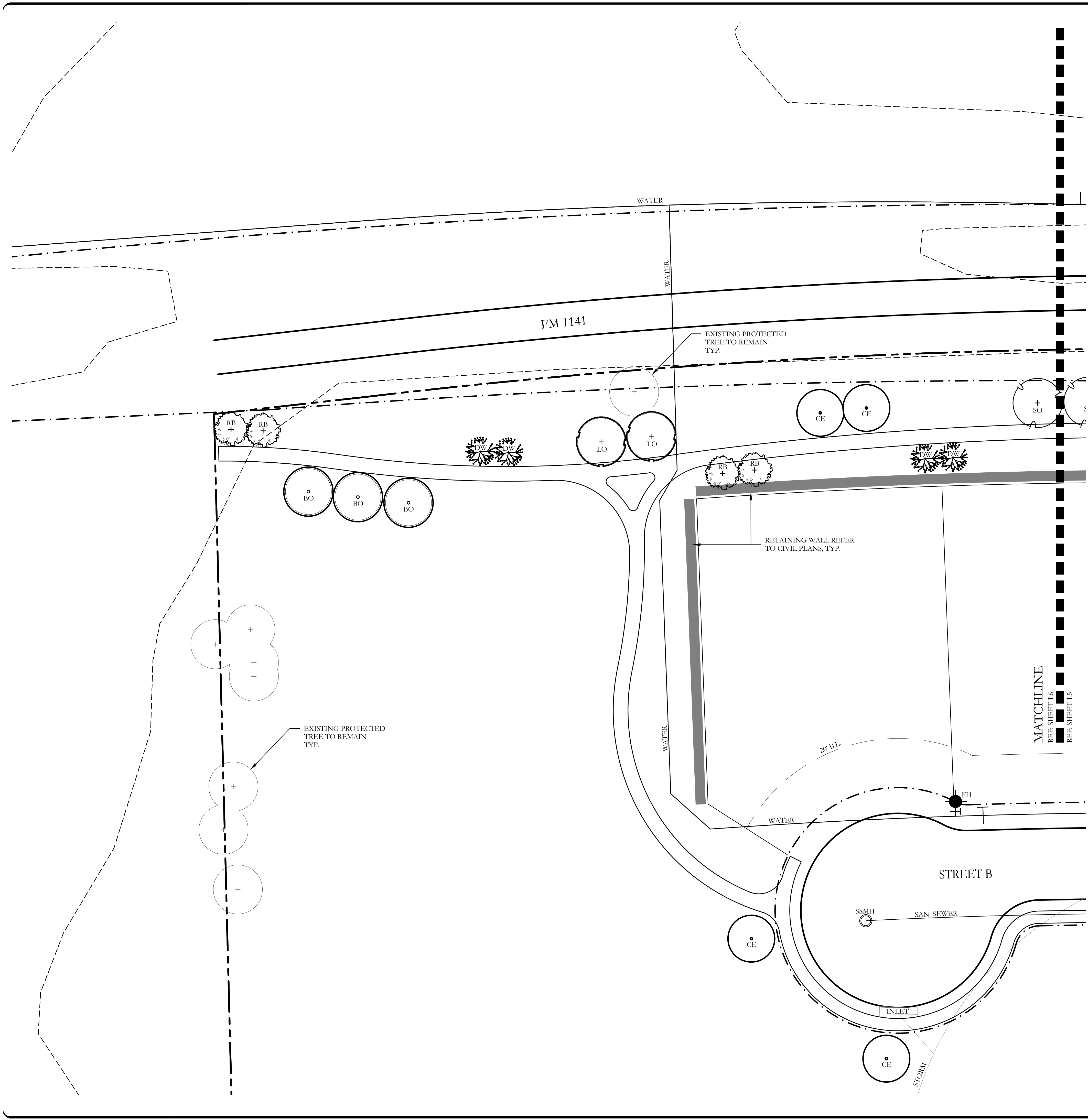


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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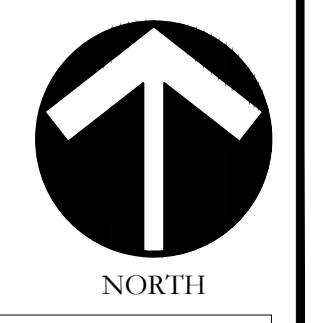
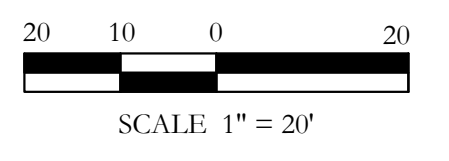
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REF: SHEET L5

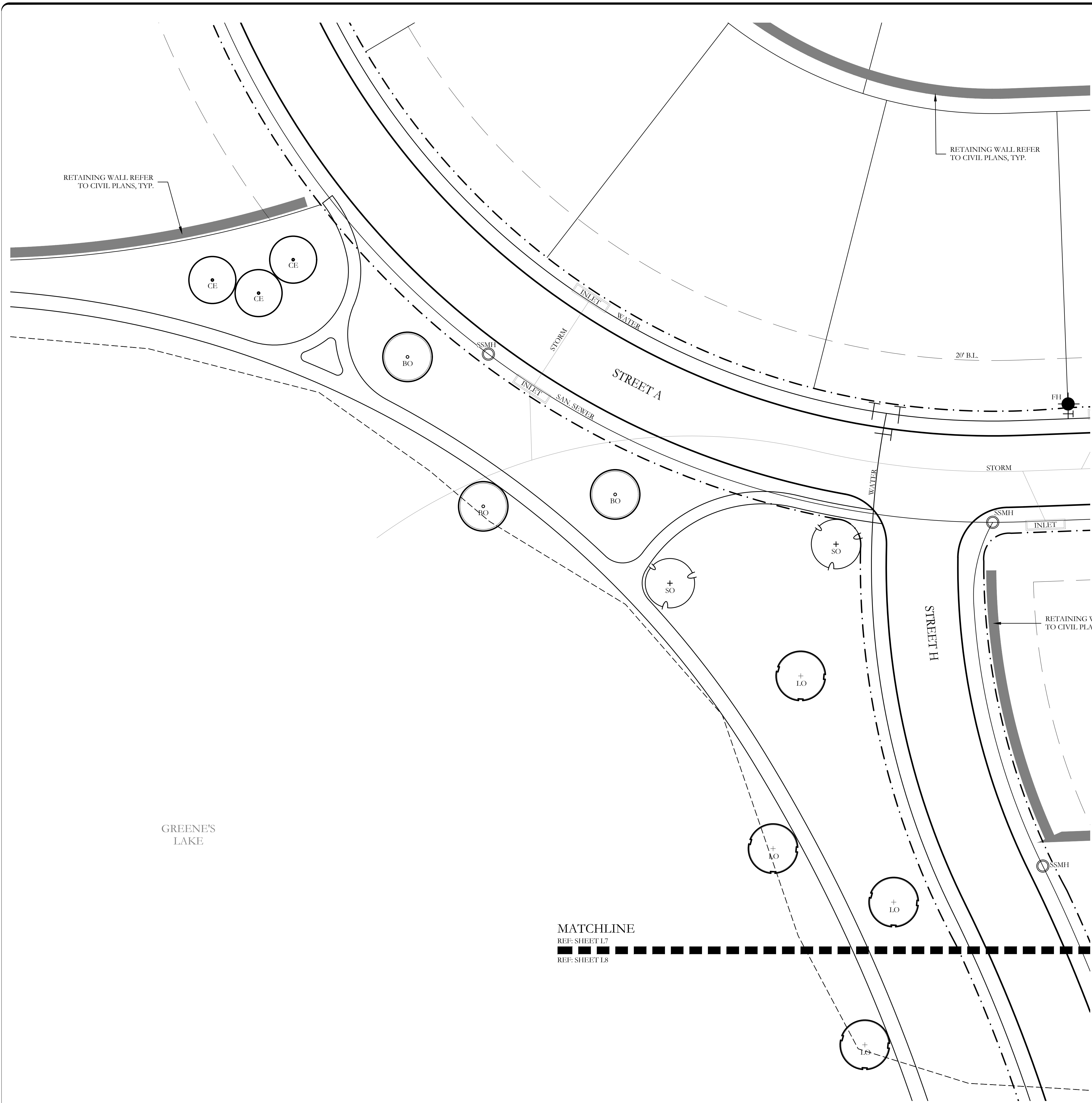
MATCHLINE
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REF: SHEET L4





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

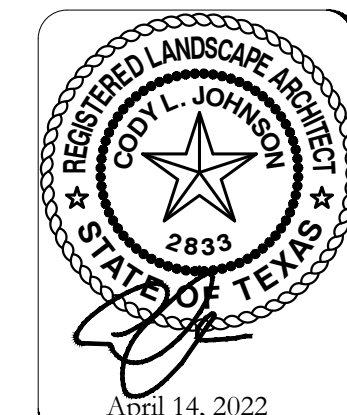
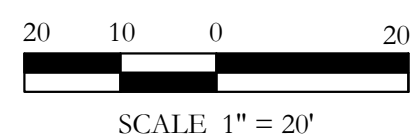




PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
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	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

GREENE'S LAKE

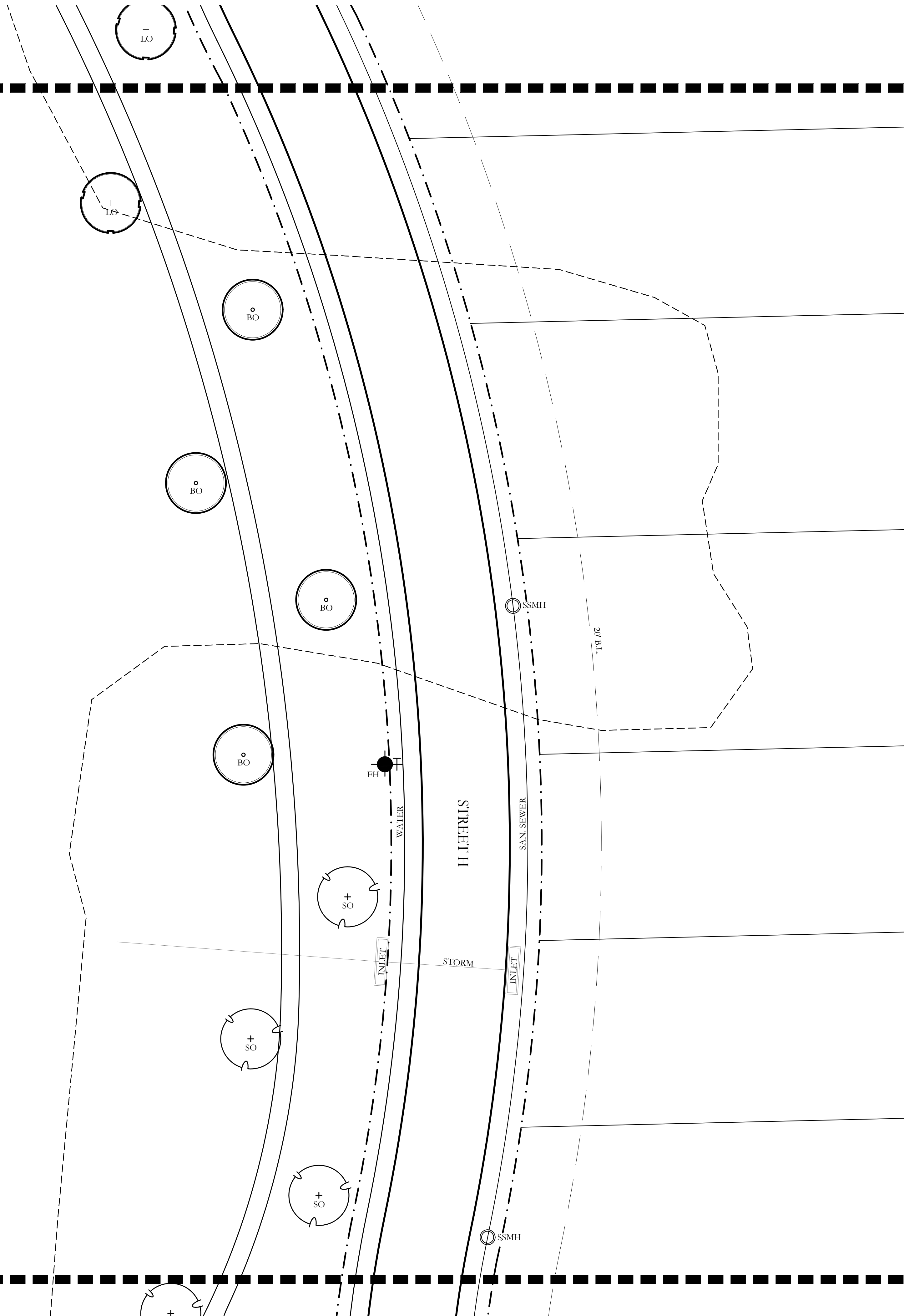
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 REF: SHEET L8



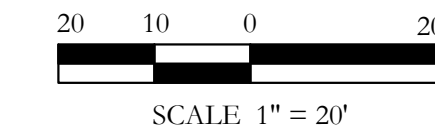
MATCHLINE
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REF: SHEET L8

GREENE'S
LAKE

MATCHLINE
REF: SHEET L8
REF: SHEET L9

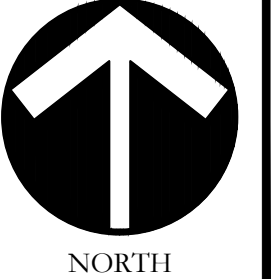
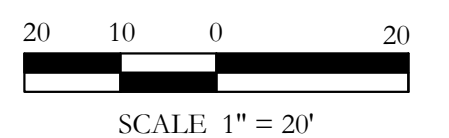


PLANT LEGEND					
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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



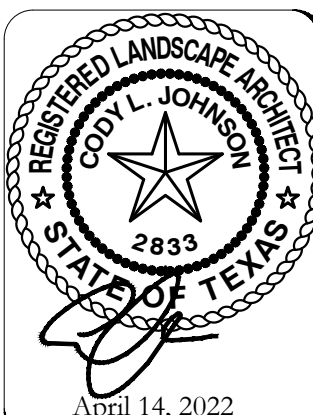
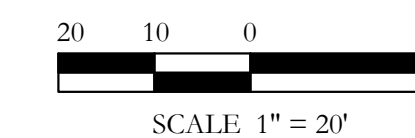


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN





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	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



LANDSCAPE PROVIDED

FM 1141 ROAD.

MINIMUM TEN (10) FOOT LANDSCAPE BUFFER PROVIDED

1 - 4" CAL. CANOPY TREE & 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE
1204 LF OF FRONTAGE / 50 LF = 24 - 4" CAL. TREES & 24 ACCENT TREES REQUIRED
PROVIDED: 25 - 4" CALIPER CANOPY TREES & 24 ACCENT TREES PROVIDED

TREE MITIGATION

88 CAL. INCHES REMOVED

99 - 4" CAL. CANOPY TREES & 24 - 2" CAL. ACCENT TREES = 444 CAL. INCHES REPLACED.

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	24	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	26	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	24	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	25	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	12	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	12	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

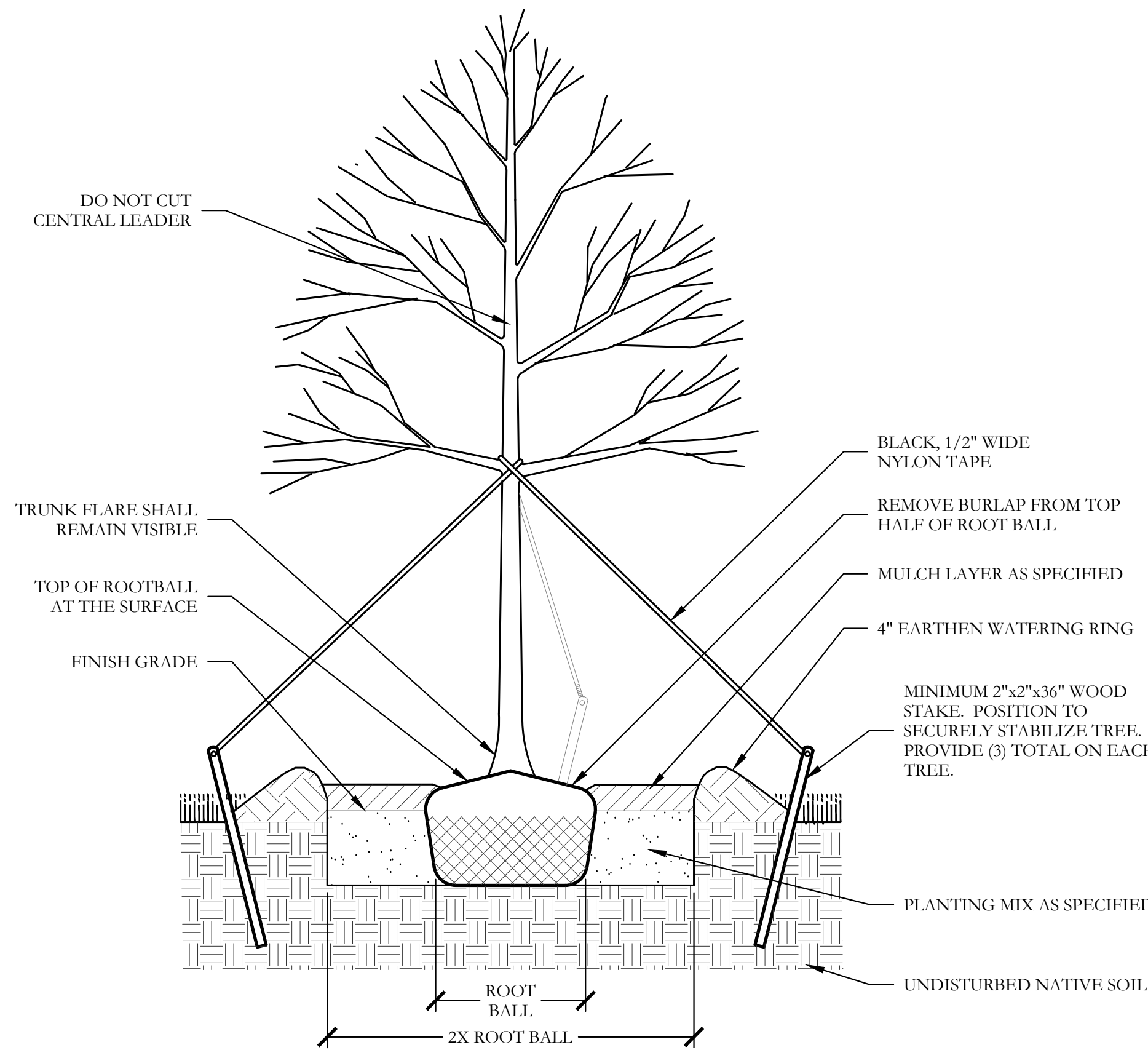
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

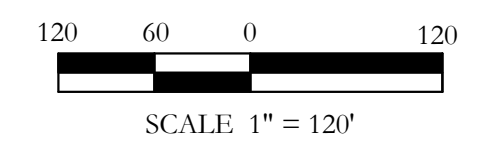
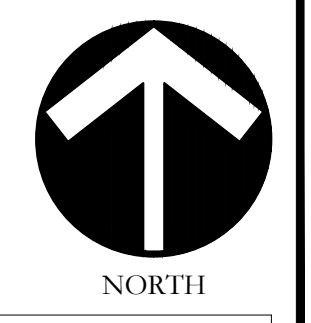
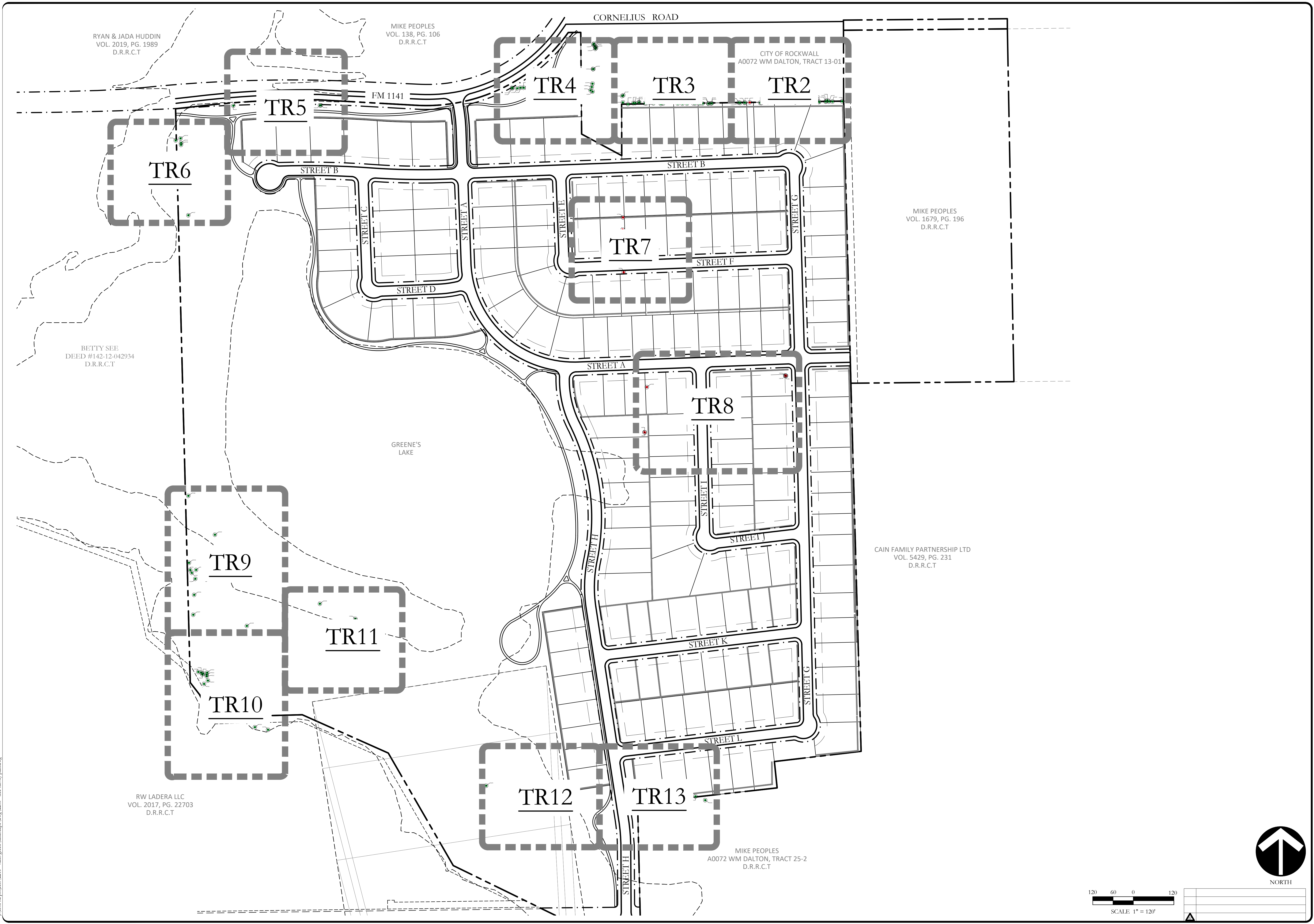
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



1 TYPICAL TREE PLANTING SECTION NOT TO SCALE






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CITY OF ROCKWALL
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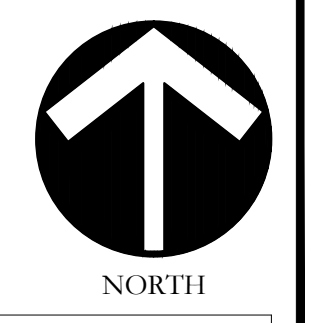
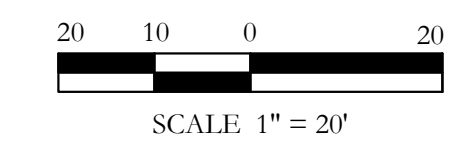
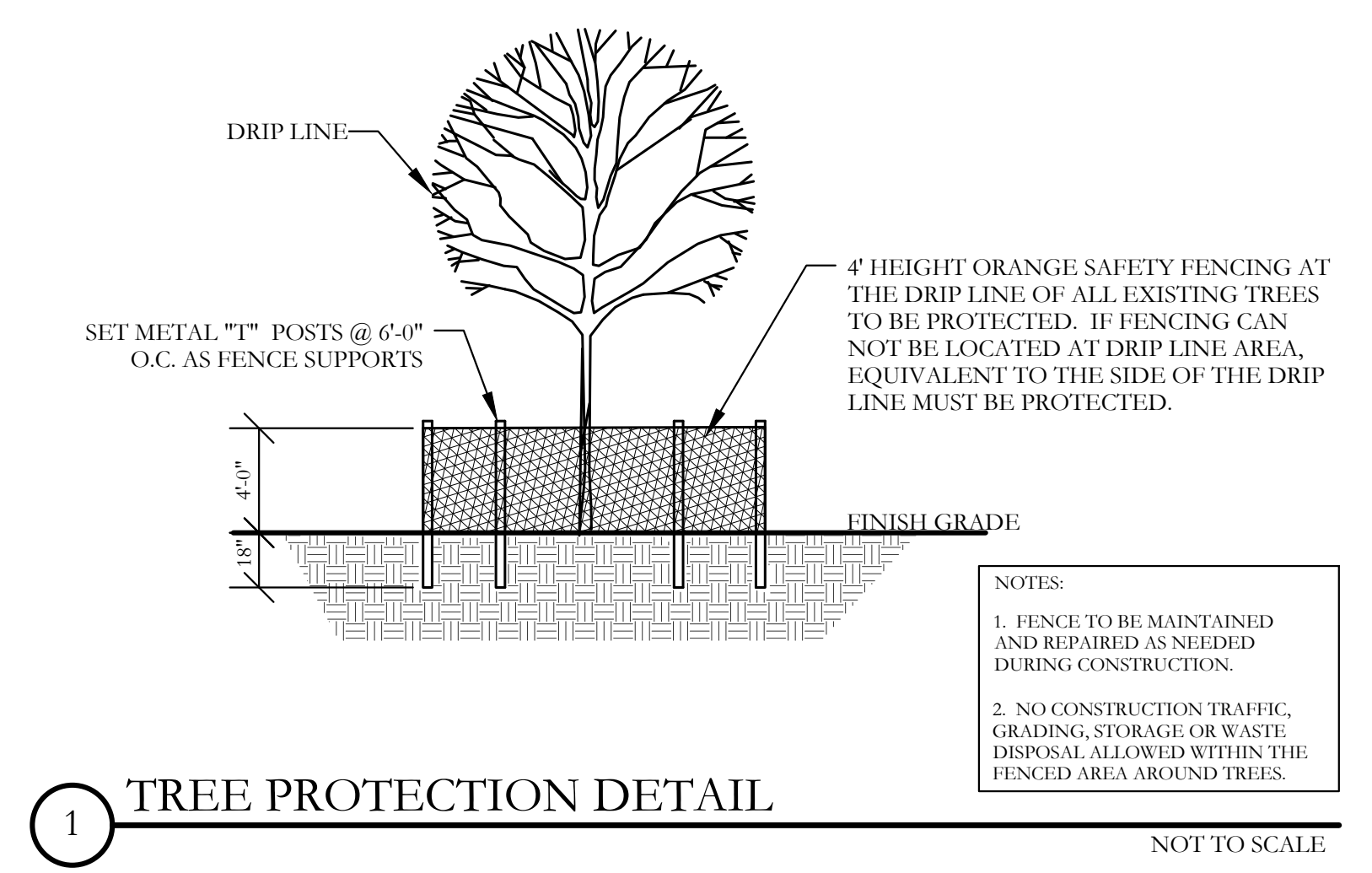
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LEGEND

-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCE, TYP.

- TREE PROTECTION NOTES**
- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
 - DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
 - NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
 - NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
 - NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.

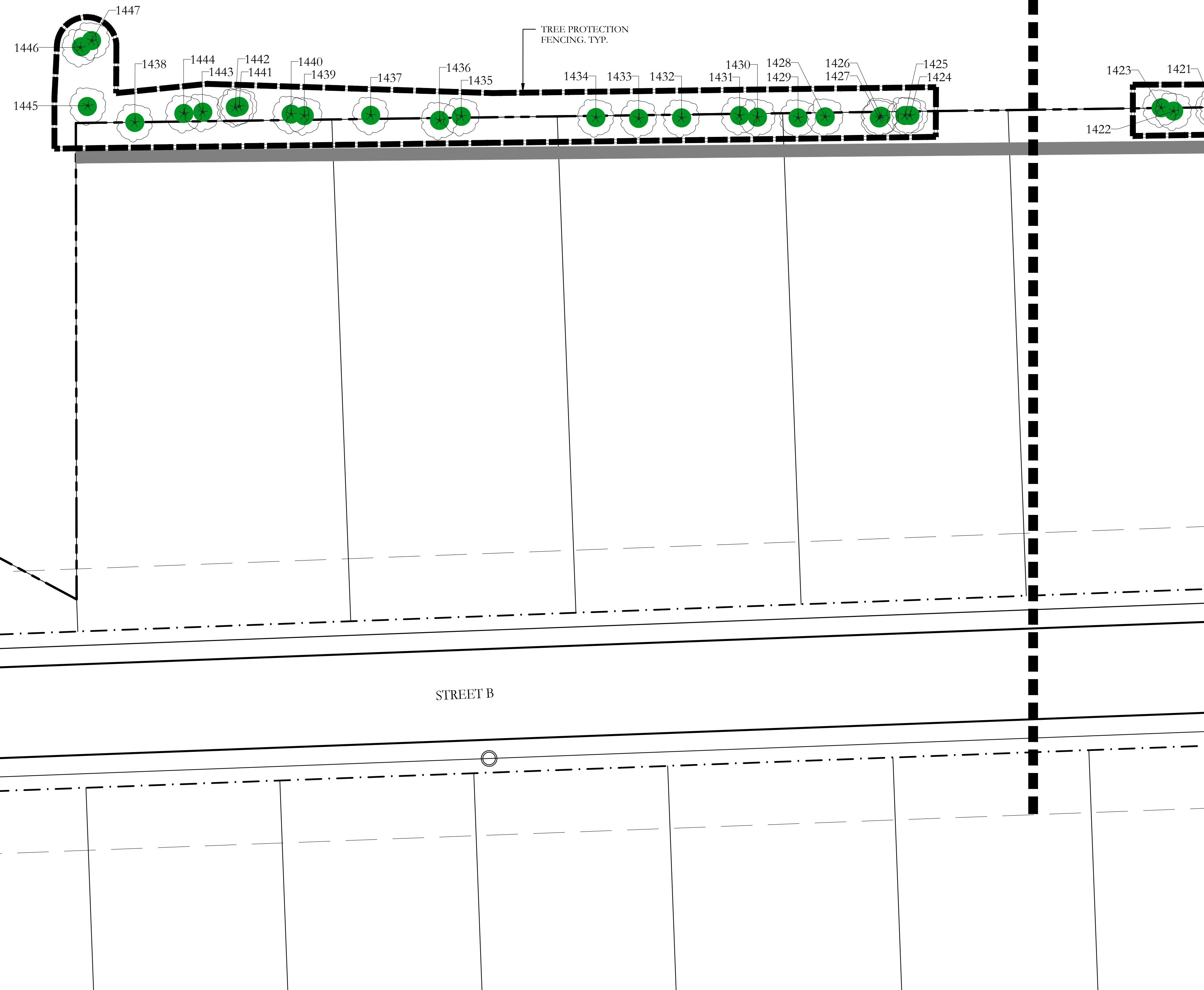


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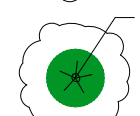
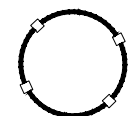
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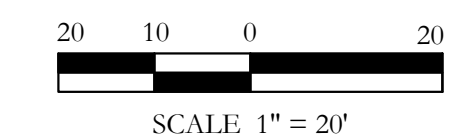
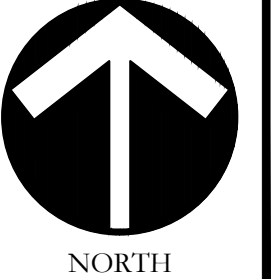
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LEGEND


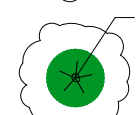
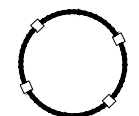
-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCE, TYP.

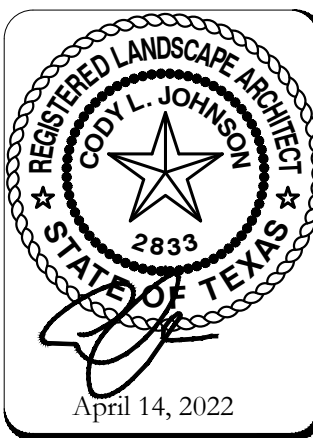
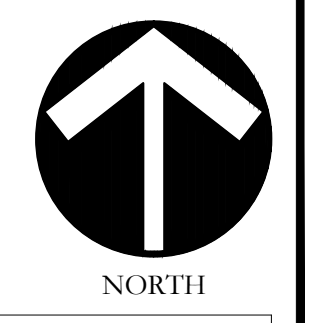
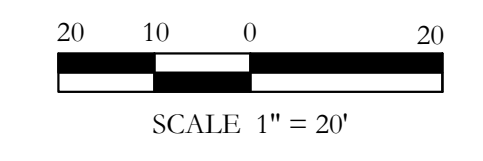


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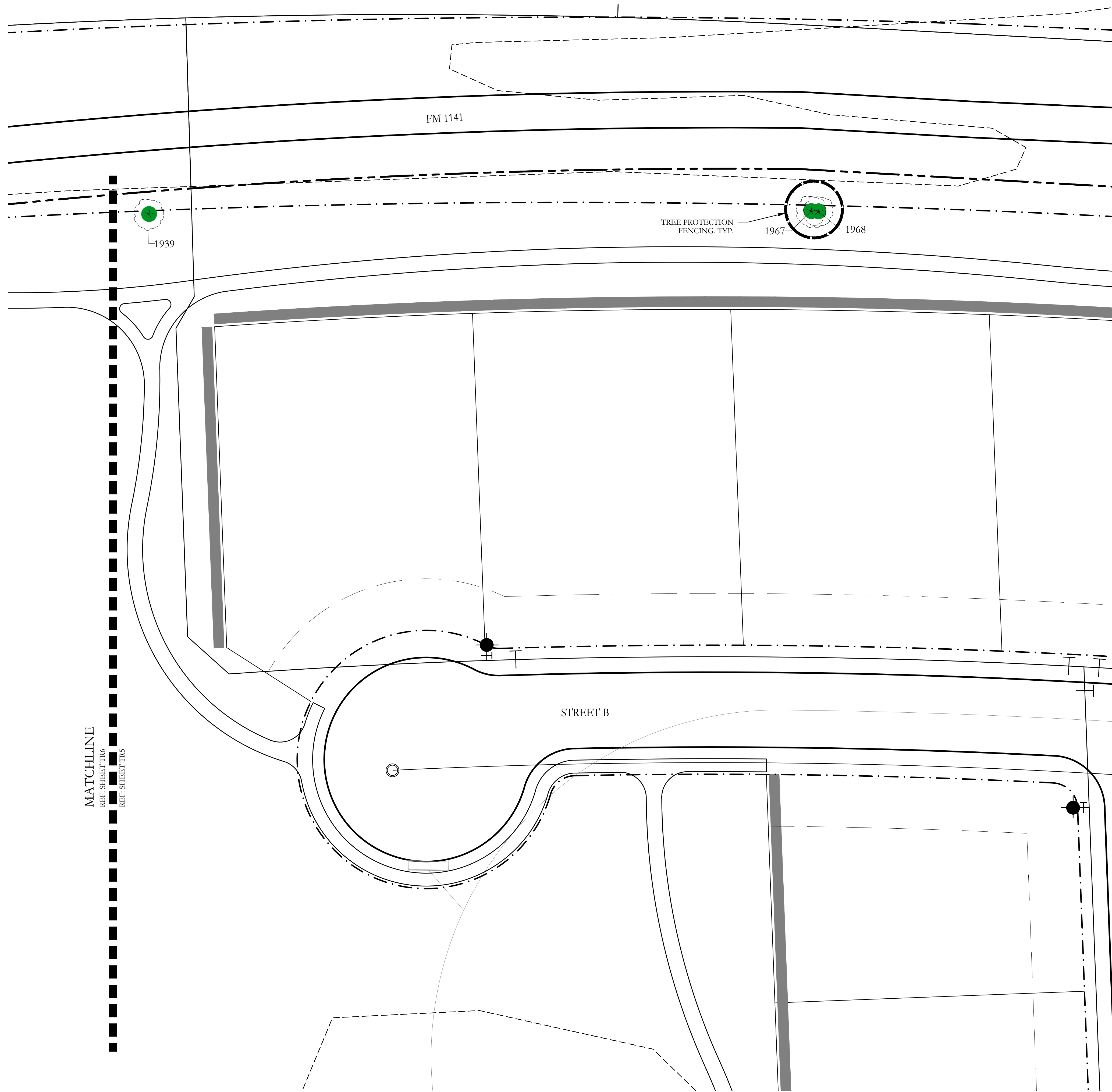
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-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCE, TYP.



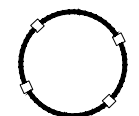


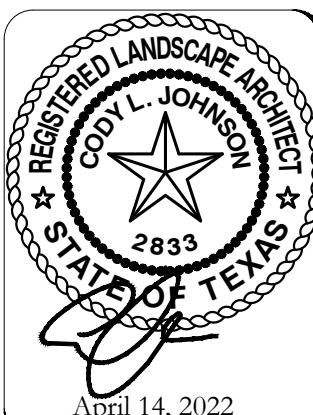
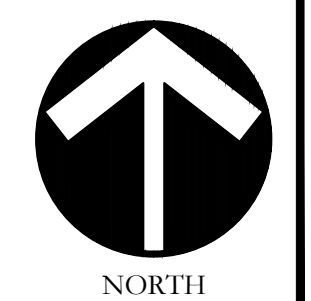
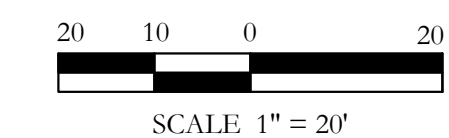
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LEGEND


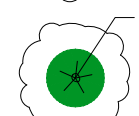
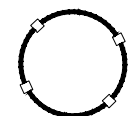
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-  23 EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCE. TYP.

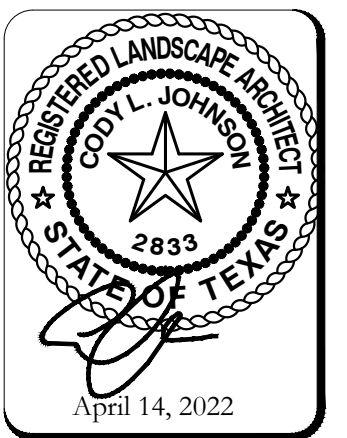
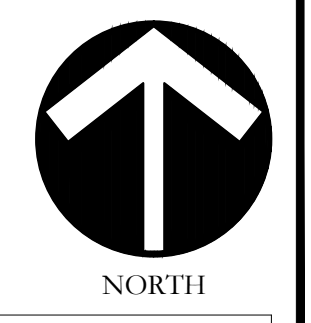
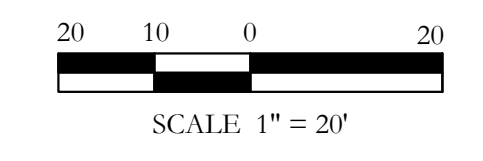


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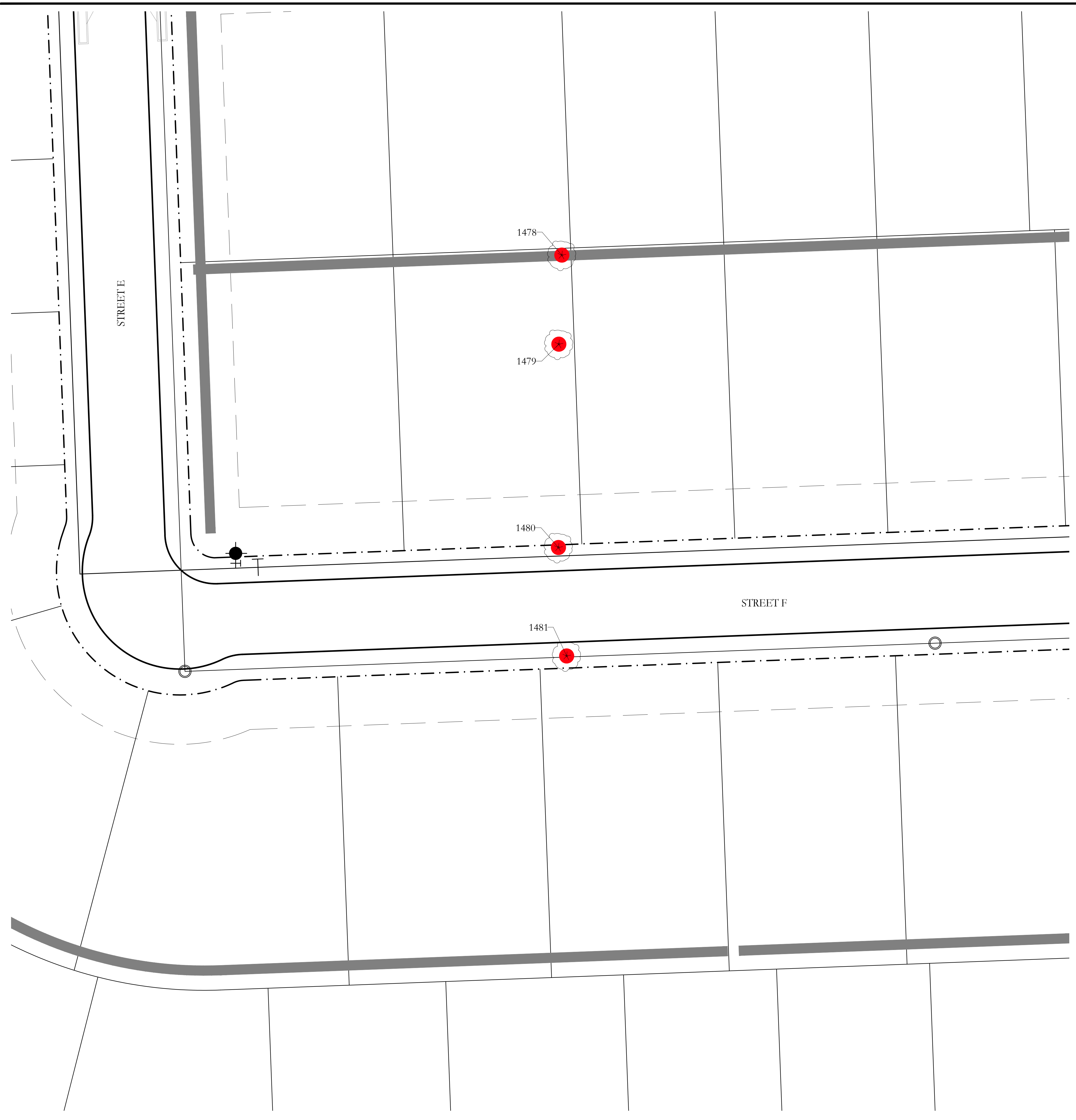


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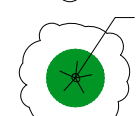
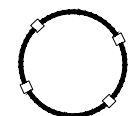
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-  23 EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCE TYP.

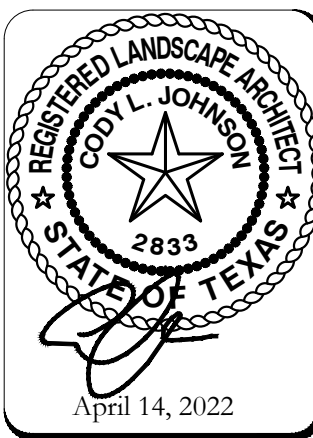
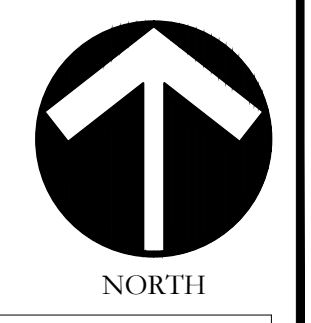
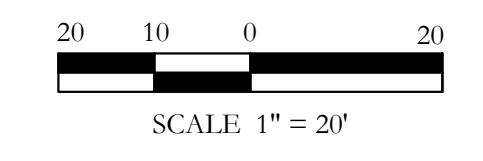


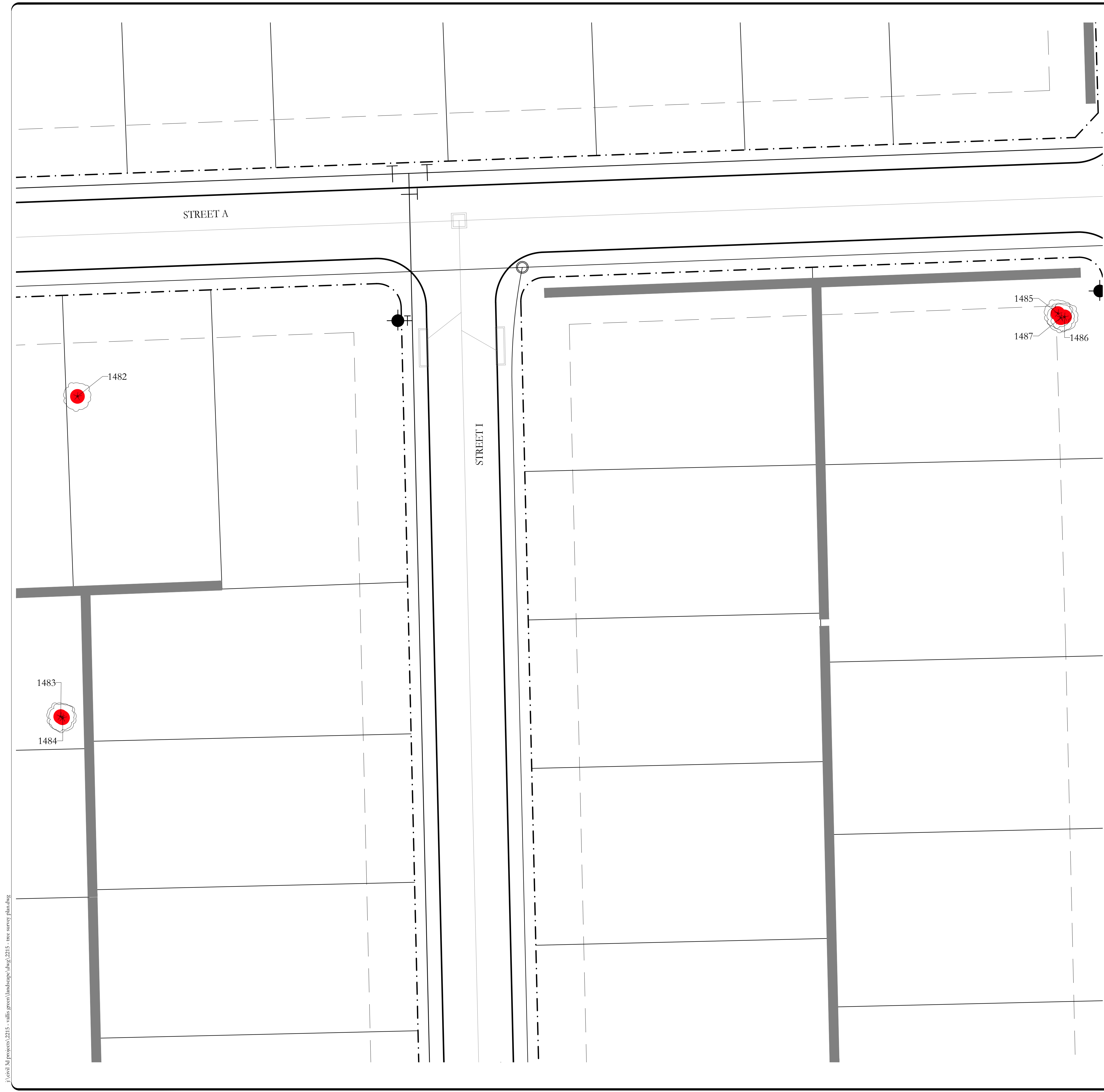
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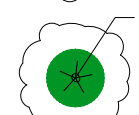
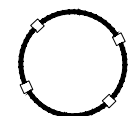
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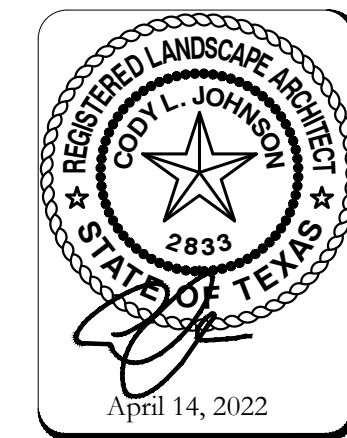
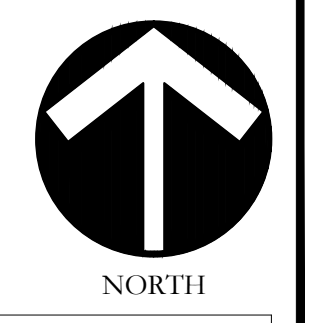
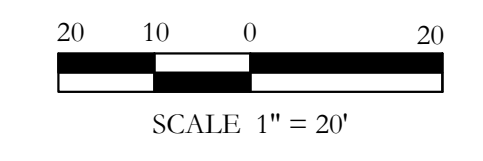
-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCE TYP.





LEGEND

-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCE, TYP.



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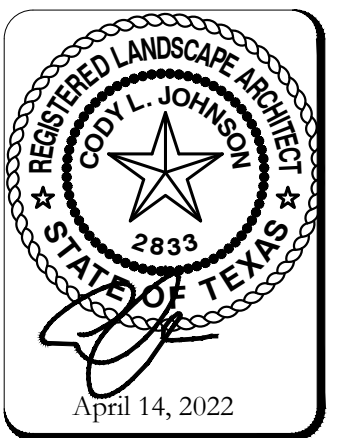
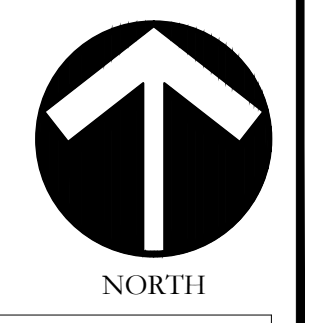
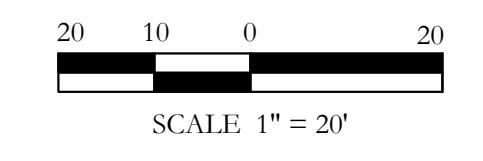


MATCHLINE
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MATCHLINE
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LEGEND

- 7 EXISTING TREE TO BE REMOVED
- 23 EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE TYP.



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1499


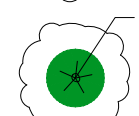
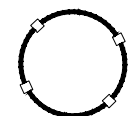
1959
1958
1966
1965
1964
1962
1960
1963
1961

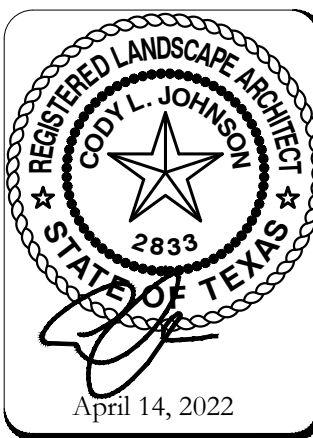
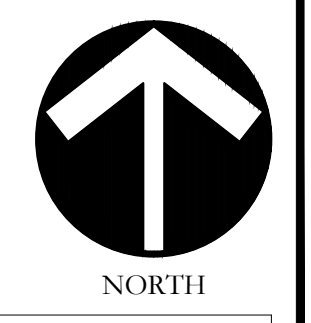
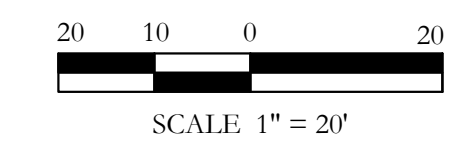
1938

1500

1937

LEGEND




-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCE TYP.

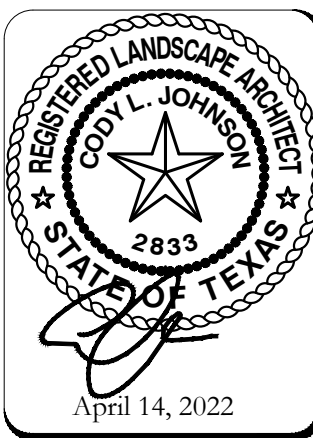
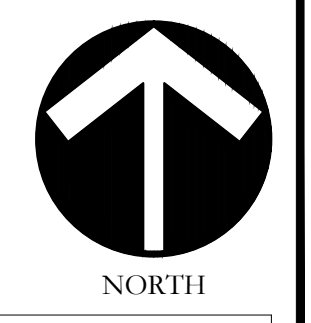
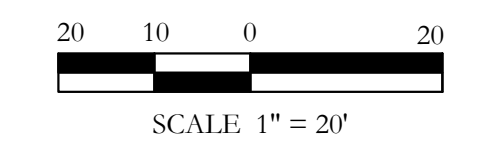


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LEGEND

-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  TREE PROTECTION FENCE TYP.

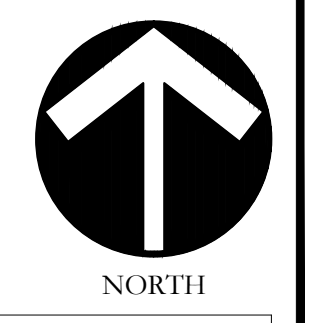
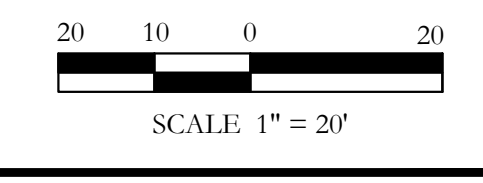


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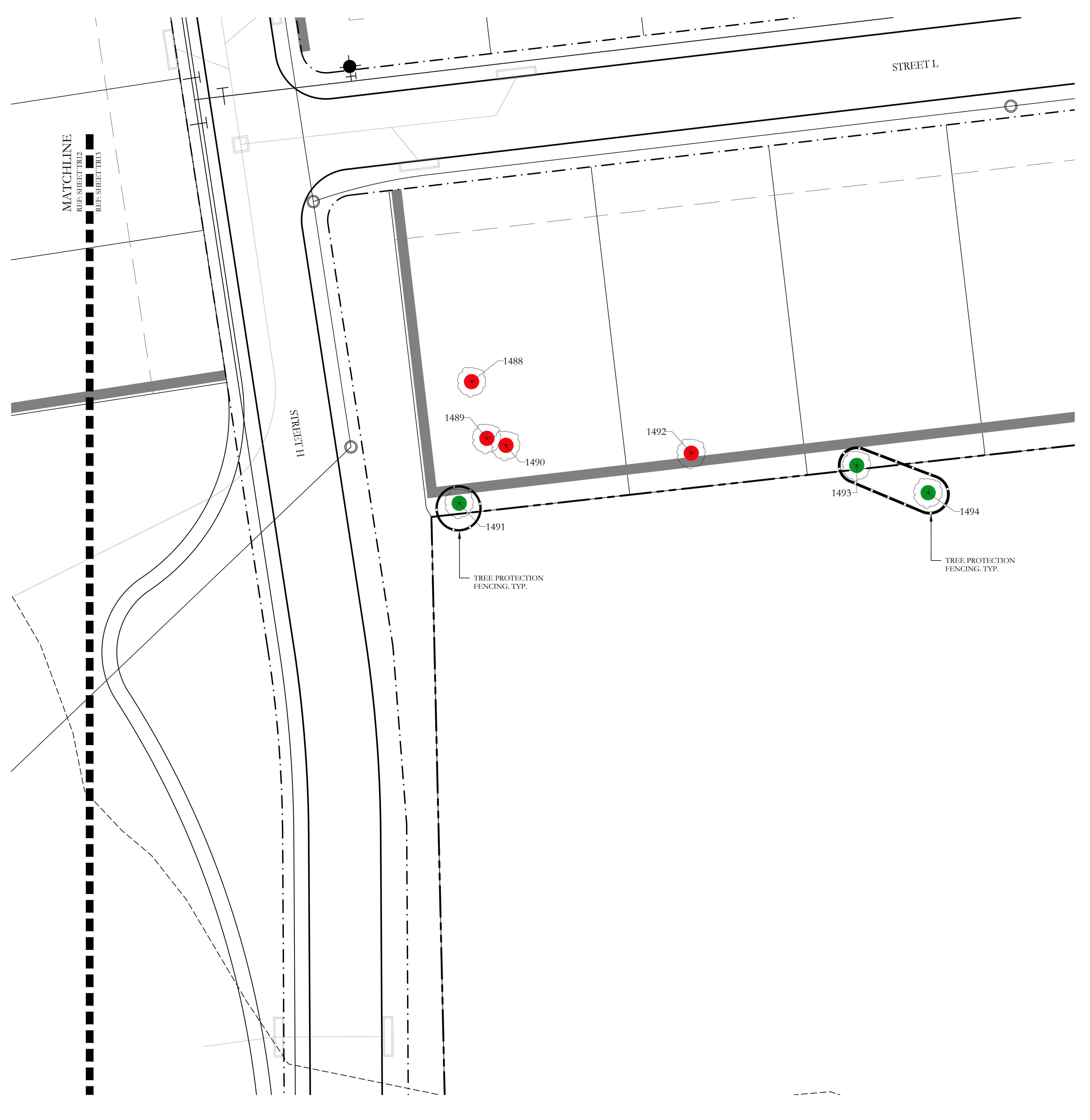


LEGEND

- 7 EXISTING TREE TO BE REMOVED
- 23 EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE. TYP.

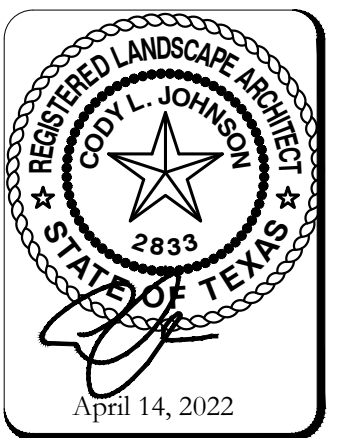
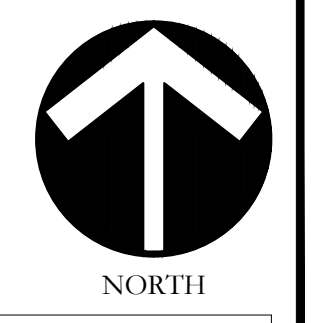
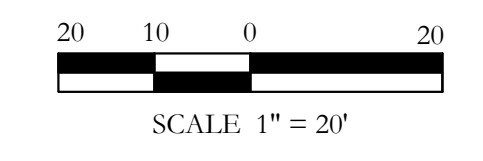


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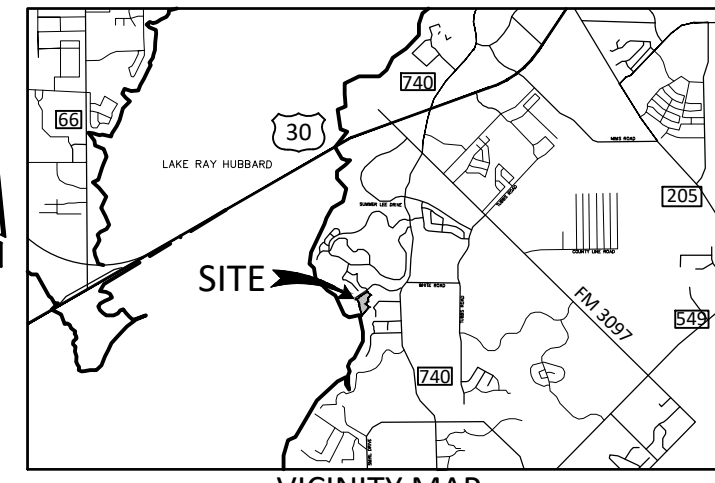
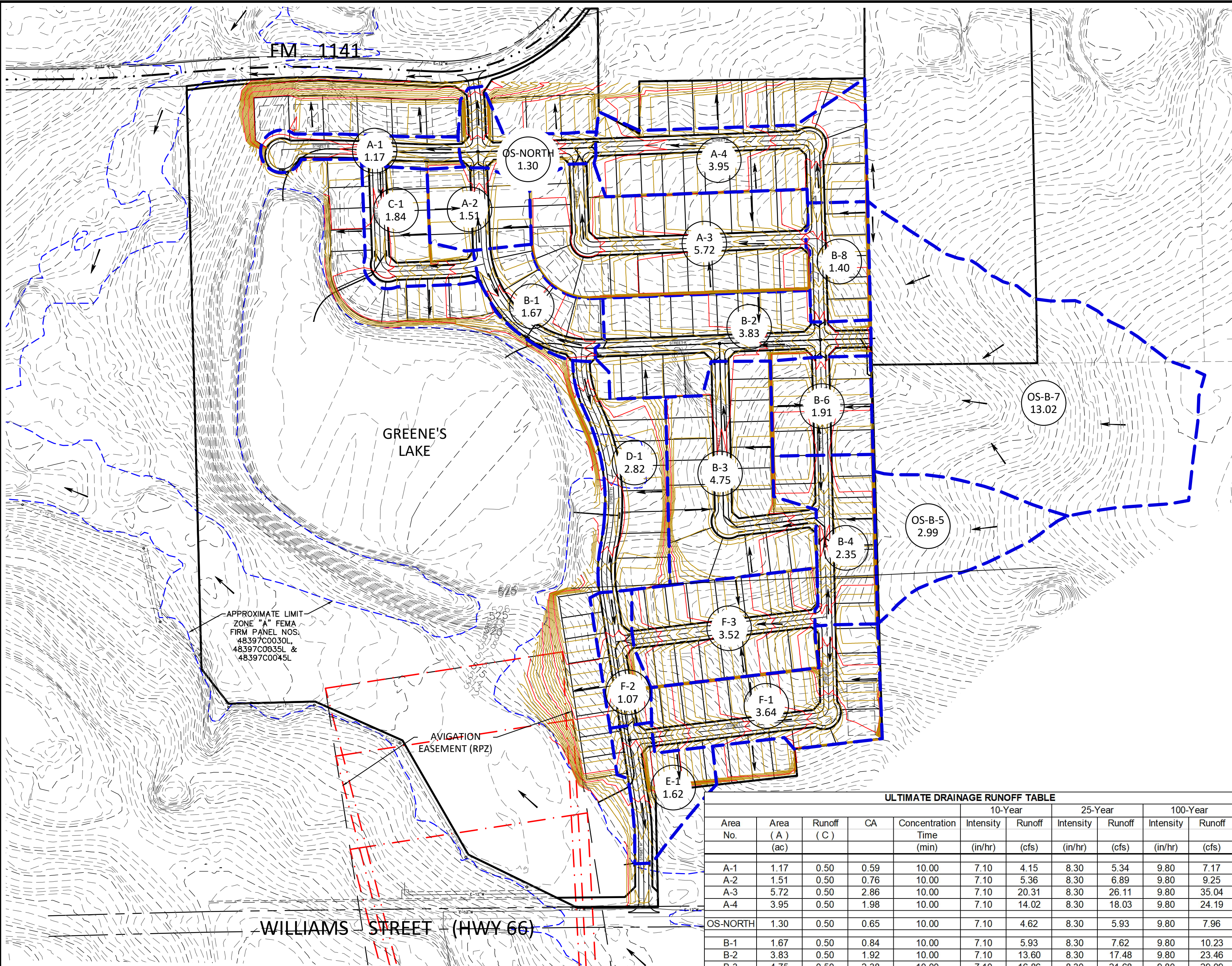
LEGEND

- 7 EXISTING TREE TO BE REMOVED
- 23 EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE. TYP.



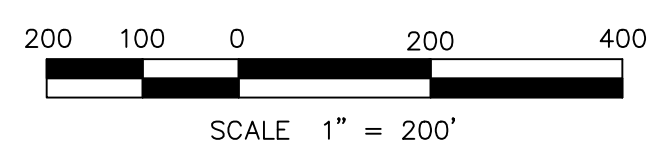
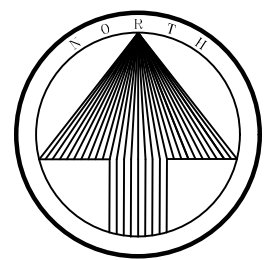
Tree ID Number	Diameter at Breast Height (DBH) (inches)	Common Name	Scientific Name	Protected Tree?	Condition	Comment	Location	Remove or Remain	Mitigation Required, Percentage	Mitigation Required in Caliper Inches
1401	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1402	10.8	Eastern Red Cedar	Juniperus virginiana	No	Healthy	Multi-trunk		Remain		0.0
1403	8.4	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1404	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1405	7.2	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1406	14.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1407	13.2	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1408	8.4	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1409	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1410	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1411	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1412	1.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1413	7.2	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1414	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1415	8.4	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1416	7.2	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1417	7.2	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1418	10.8	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1419	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
1420	8.4	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1421	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1422	6.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1423	6.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1424	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1425	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1426	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1427	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1428	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1429	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1430	26.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1431	8.4	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1432	9.6	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1433	26.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1434	22.8	Hackberry	Juniperus virginiana	Yes	Healthy			Remain		0.0
1435	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1436	6.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1437	13.2	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1438	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1439	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1440	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1441	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1442	8.4	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1443	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1444	7.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1445	16.8	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remain		0.0
1446	7.2	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1447	7.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1448	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1449	9.6	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1450	8.4	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1451	13.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1452	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1453	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1454	25.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remain		0.0
1455	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1456	9.6	Osgae Orange	Maclura Pomifera	Yes	Healthy			Remain		0.0
1457	12.0	Osgae Orange	Maclura Pomifera	Yes	Healthy			Remain		0.0
1458	26.4	Osgae Orange	Maclura Pomifera	Yes	Healthy	Multi-trunk		Remain		0.0
1459	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1460	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1461	16.8	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Multi-trunk		Remain		0.0
1462	10.8	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1463	10.8	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1464	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1465	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1466	13.2	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1467	18.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Multi-trunk		Remain		0.0
1468	7.2	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1469	14.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1470	13.2	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1471	13.2	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0

Tree ID Number	Diameter at Breast Height (DBH) (inches)	Common Name	Scientific Name	Protected Tree?	Condition	Comment	Location	Remove or Remain	Mitigation Required, Percentage	Mitigation Required in Caliper Inches
1472	16.8	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1473	10.8	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1474	7.2	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1475	21.6	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Multi-trunk		Remain		0.0
1476	10.8	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1477	9.6	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1478	13.2	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.6
1479	18.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	9.0
1480	20.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	10.2
1481	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.0
1482	19.2	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remove	50%	9.6
1483	8.4	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remove	100%	8.4
1484	7.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remove	100%	7.2
1485	14.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remove	50%	7.2
1486	20.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remove	50%	10.2
1487	9.6	Hackberry	Celtis occidentalis	No	Healthy	Multi-trunk		Remove	0%	0.0
1488	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.0
1489	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
1490	8.4	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
1491	8.4	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1492	14.4	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remove	50%	7.2
1493	16.8	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1494	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1495	44.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1496	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1497	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1498	42.0	Cedar Elm	Ulmus crassifolia	Yes	Damaged			Remain		0.0
1499	19.2	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1500	24.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1937	37.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1938	22.8	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1939	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1940	6.0	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1941	7.2	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1942	6.0	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1943	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1944	26.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1945	8.4	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1946	24.0	Pecan	Carya illinoensis	Yes	Healthy			Remain		0.0
1947	22.8	Pecan	Carya illinoensis	Yes	Healthy			Remain		0.0
1948	10.8	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1949	31.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1950	22.8	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1951	14.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1952	21.6	Green Ash	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1953	14.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1954	24.0	Pecan	Carya illinoensis	Yes	Healthy			Remain		0.0
1955	21.6	Pecan	Carya illinoensis	Yes	Healthy			Remain		0.0
1956	9.6	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1957	13.2	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remain		0.0
1958	20.4	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remain		0.0
1959	7.2	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1960	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1961	37.2	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remain		0.0
1962	8.4	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1963	13.2	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remain		0.0
1964	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1965	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1966	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1967	16.8	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1968	13.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
Total Tree Population										1713.4
Total Tree Replacement, caliper inches										87.6



LEGEND

- C-1
22.64 AC DRAINAGE AREA DESIGNATION
DRAINAGE AREA SIZE (AC.)
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR
- PROPOSED CONTOUR



**PRELIMINARY DRAINAGE PLAN
VALLIS GREENE**

LOTS 1-25, BLOCK A; LOTS 1-21, BLOCK B;
 LOTS 1-32, BLOCK C; LOTS 1-16, BLOCK D;
 LOTS 1-24, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-8, BLOCK G; LOTS 1-31, BLOCK H;
 LOTS 1-18, BLOCK I
 94.133 ACRES OR 4,100,433.48 SQ. FT.
 182 SINGLE FAMILY LOTS AND
 6 OPEN SPACE LOTS
 SITUATED WITHIN A PORTION OF TRACT 25-1 & 26 AND
 ALL OF TRACT 13 & 25 OF THE
 WILLIAM DALTON SURVEY, ABSTRACT NO. 72
 AND TRACT 4 & 4-01 OF THE
 M.B. JONES SURVEY, ABSTRACT NO. 122
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 P2022-015

May 02, 2022

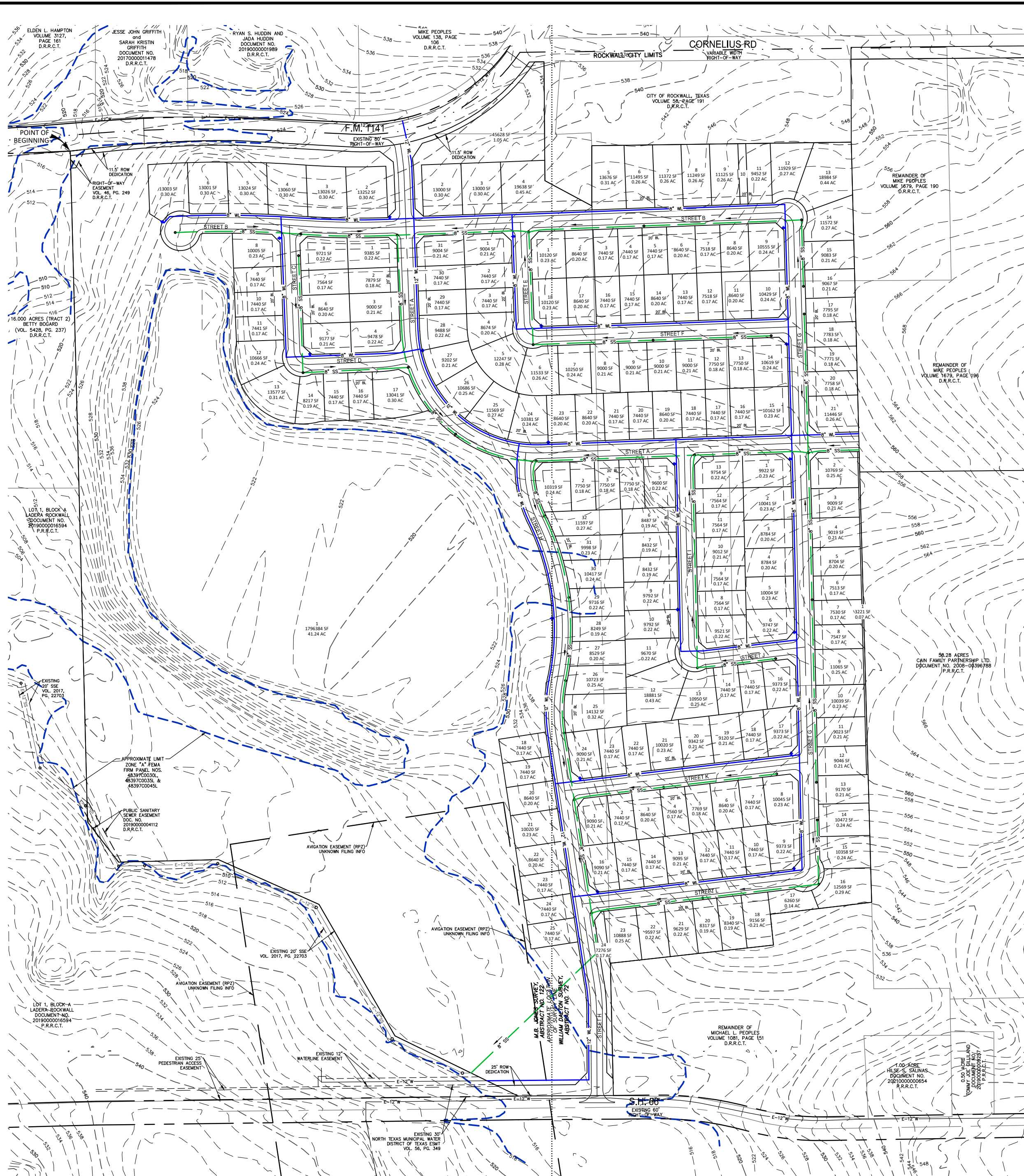
ULTIMATE DRAINAGE RUNOFF TABLE										
Area No.	Area (A) (ac)	Runoff (C)	CA	Concentration Time (min)	10-Year		25-Year		100-Year	
					Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)
A-1	1.17	0.50	0.59	10.00	7.10	4.15	8.30	5.34	9.80	7.17
A-2	1.51	0.50	0.76	10.00	7.10	5.36	8.30	6.89	9.80	9.25
A-3	5.72	0.50	2.86	10.00	7.10	20.31	8.30	26.11	9.80	35.04
A-4	3.95	0.50	1.98	10.00	7.10	14.02	8.30	18.03	9.80	24.19
OS-NORTH	1.30	0.50	0.65	10.00	7.10	4.62	8.30	5.93	9.80	7.96
B-1	1.67	0.50	0.84	10.00	7.10	5.93	8.30	7.62	9.80	10.23
B-2	3.83	0.50	1.92	10.00	7.10	13.60	8.30	17.48	9.80	23.46
B-3	4.75	0.50	2.38	10.00	7.10	16.86	8.30	21.68	9.80	29.09
B-4	2.35	0.50	1.18	10.00	7.10	8.34	8.30	10.73	9.80	14.39
OS-B-5	2.99	0.50	1.50	10.00	7.10	10.61	8.30	13.65	9.80	18.31
B-6	1.91	0.50	0.96	10.00	7.10	6.78	8.30	8.72	9.80	11.70
OS-B-7	13.02	0.50	6.51	10.00	7.10	46.22	8.30	59.44	9.80	79.75
B-8	1.40	0.50	0.70	10.00	7.10	4.97	8.30	6.39	9.80	8.58
C-1	1.84	0.50	0.92	10.00	7.10	6.53	8.30	8.40	9.80	11.27
D-1	2.82	0.50	1.41	10.00	7.10	10.01	8.30	12.87	9.80	17.27
E-1	1.62	0.50	0.81	10.00	7.10	5.75	8.30	7.40	9.80	9.92
F-1	3.64	0.50	1.82	10.00	7.10	12.92	8.30	16.62	9.80	22.30
F-2	1.07	0.50	0.54	10.00	7.10	3.80	8.30	4.88	9.80	6.55
F-3	3.52	0.50	1.76	10.00	7.10	12.50	8.30	16.07	9.80	21.56

BENCHMARKS:
 MONUMENT NO. 1:
 XXXX
 XXXX
 MONUMENT NO. 2:
 XXXX
 XXXX

Owner/Applicant:
 MRJOYCE, LLC
 Ryan Joyce
 767 Justin Road
 Rockwall, Texas 75087
 Phone: 512-965-6280

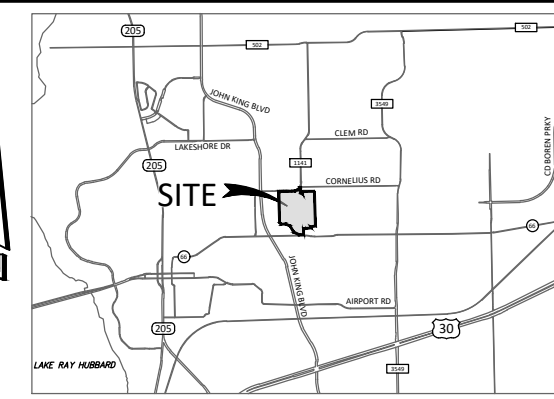
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite 1200
 Plano, Texas 75074
 Phone: 972-201-3100
 Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



GENERAL NOTES:

1. ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
2. ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
3. BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
4. LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48397C0030L, 48397C0035L & 48397C0045L DATED SEPTEMBER 26, 2008.
5. LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
6. DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
7. OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.

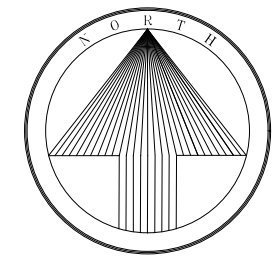


VICINITY MAP
N.T.S.

LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- ⊙ 1/2" IRF (unless otherwise noted)

AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VAM Visibility Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas



**PRELIMINARY UTILITY PLAN
VALLIS GREENE**

LOTS 1-25, BLOCK A; LOTS 1-21, BLOCK B;
LOTS 1-24, BLOCK C; LOTS 1-16, BLOCK D;
LOTS 1-32, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-8, BLOCK G; LOTS 1-31, BLOCK H;
LOTS 1-18, BLOCK I

94.133 ACRES OR 4,100,433.48 SQ. FT.
182 SINGLE FAMILY LOTS AND
6 OPEN SPACE LOTS

SITUATED WITHIN A PORTION OF TRACT 25-1 & 26 AND
ALL OF TRACT 13 & 25 OF THE
WILLIAM DALTON SURVEY, ABSTRACT NO. 72
AND TRACT 4 & 4-01 OF THE
M.B. JONES SURVEY, ABSTRACT NO. 122
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
P2022-015

May 2, 2022
SHEET 1 OF 1

Owner/Applicant:
Michael Joyce Properties
3767 Justin Road
Rockwall, Texas 75087
Phone: 512-965-6280

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 119652 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 10, 2022
APPLICANT: Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER: P2022-016; *Master Plat for the Vallis Greene Subdivision*

SUMMARY

Consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Mike Peoples for the approval of a Master Plat for the Vallis Greene Subdivision consisting of 182 single-family residential lots on a 93.97-acre tract of land identified as Tract 4 & 4-01 of the M. B. Jones Survey, Abstract No. 122 and a portion of Tract 25-1 & 26 and all of Tract 13 & 25 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 1936 SH-66, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a *Master Plat* for the Vallis Greene Subdivision. The Vallis Greene Subdivision will be a one (1) phase, master planned community that will consist of 182 single-family residential lots on a 93.97-acre tract of land. The *Master Plat* indicates the location of the trails, canopy trees within the open space, and the amenities proposed for the public park. It should be noted that the applicant has also submitted a *Preliminary Plat* [*i.e. Case No. P2022-016*] concurrently with this *Master Plat*.
- The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is: [1] a 2,500 SF single-family home constructed in 1958, [2] a ~1,856 SF covered porch constructed in 1958, [3] a 400 SF storage building constructed in 1900, and [4] a 96 SF storage building with a 240 SF covered canopy constructed in 2007. On April 18, 2022, the City Council approved a zoning change [*Case No. Z2022-010; Ordinance No. 22-22*] for the subject property from Agricultural (AG) District to Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses.
- On May 3, 2022, the Parks and Recreation Board reviewed the *Master Plat* and made the following recommendations concerning the proposed subdivision.
 - (1) The property owner shall pay pro-rata equipment fees of \$105,014.00 (*i.e. \$577.00 x 182 Lots*) and the cash-in-lieu of land fees of \$110,838.00 (*i.e. \$609.00 x 182 Lots*) to provide amenity to the four (4) acre tract of land (*i.e. Tract 13-01 of the W. M. Dalton Survey, Abstract No. 72*) in accordance with *Ordinance No. 22-22 (i.e. Planned Development District 93 [PD-93])*.
 - (2) The property owner shall provide receipts to the Director of Parks and Recreation showing that the amenities provided are equal to or greater than the fees assessed.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for master plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Master Plat for the *Vallis Greene Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) The development shall adhere to the recommendations of the Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this Master Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2022-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1649 Fm 1141, Rockwall TX 75087

SUBDIVISION ABS A0122, MB Jones Tract 4-01 LOT BLOCK

GENERAL LOCATION Approx. 1250 feet east of intersection John King & Fm 1141. South of Fm 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural CURRENT USE Agricultural

PROPOSED ZONING Planned Development District PROPOSED USE Single Family

ACREAGE 94.13 Acres LOTS [CURRENT] 1 LOTS [PROPOSED] 182

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER APPLICANT

CONTACT PERSON CONTACT PERSON

ADDRESS ADDRESS

CITY, STATE & ZIP CITY, STATE & ZIP

PHONE PHONE

E-MAIL E-MAIL

NOTARY VERIFICATION [REQUIRED]

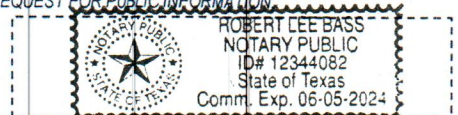
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Peoples [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

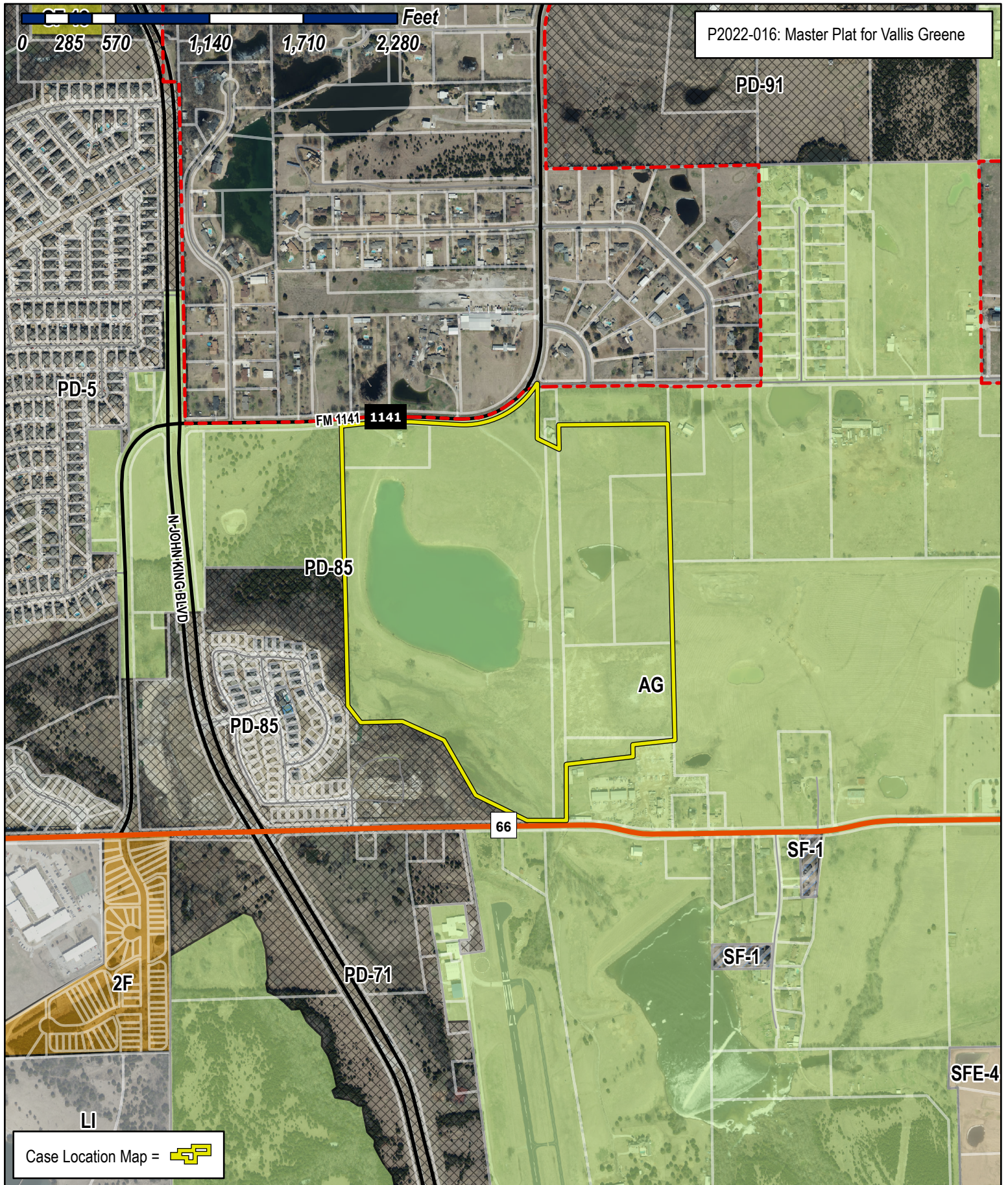
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 4 DAY OF April, 2022

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES 06-05-24



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





April 26, 2022

Mr. Henry Lee
City of Rockwall – Planning Dept.
385 S. Goliad Street
Rockwall, Texas 75087

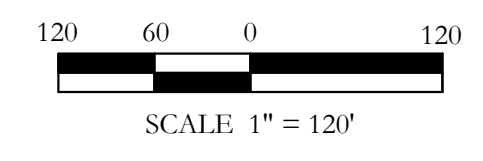
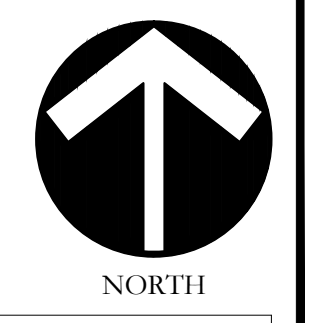
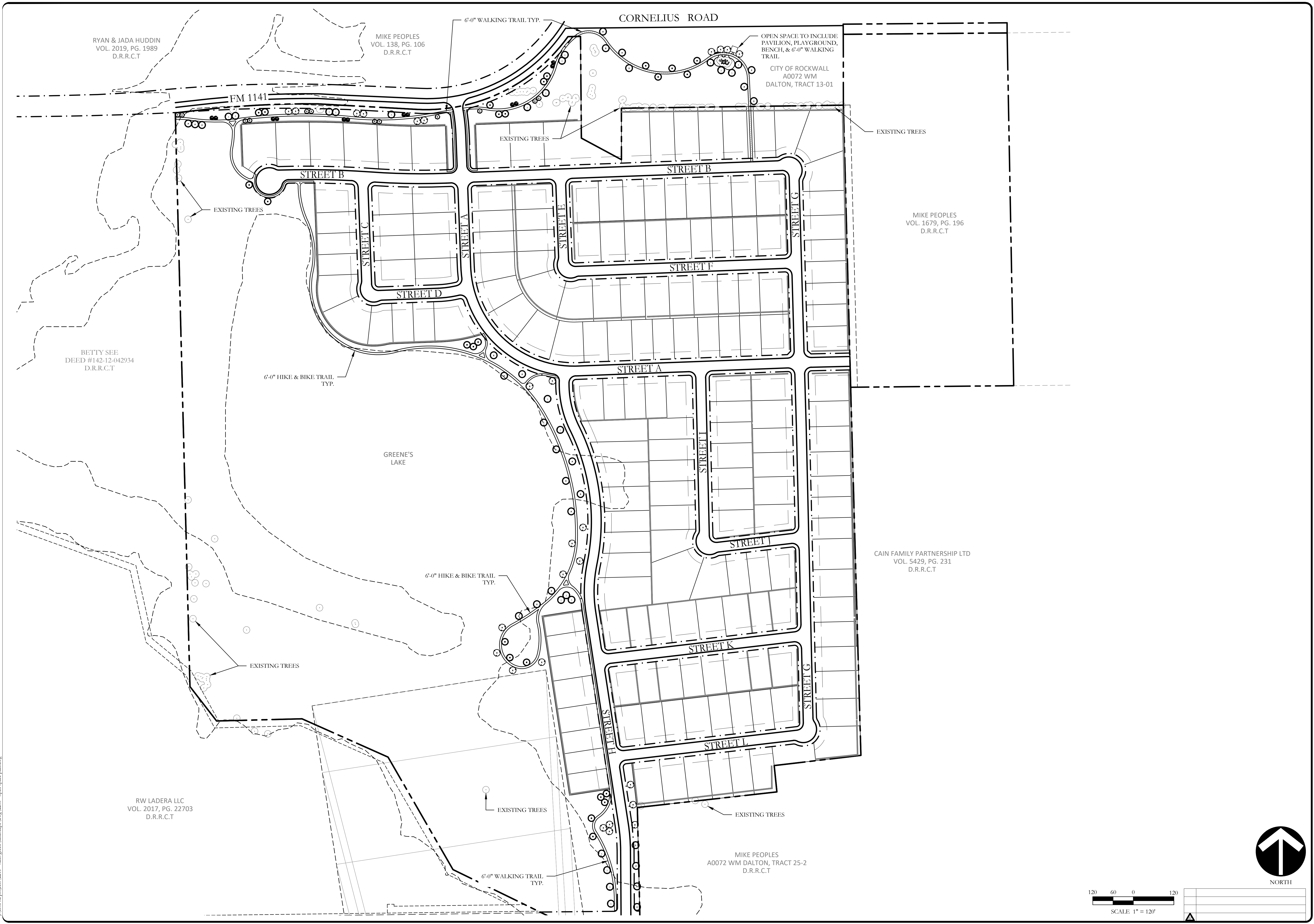
Re: Vallis Greene – Development Phasing

Dear Mr. Lee:

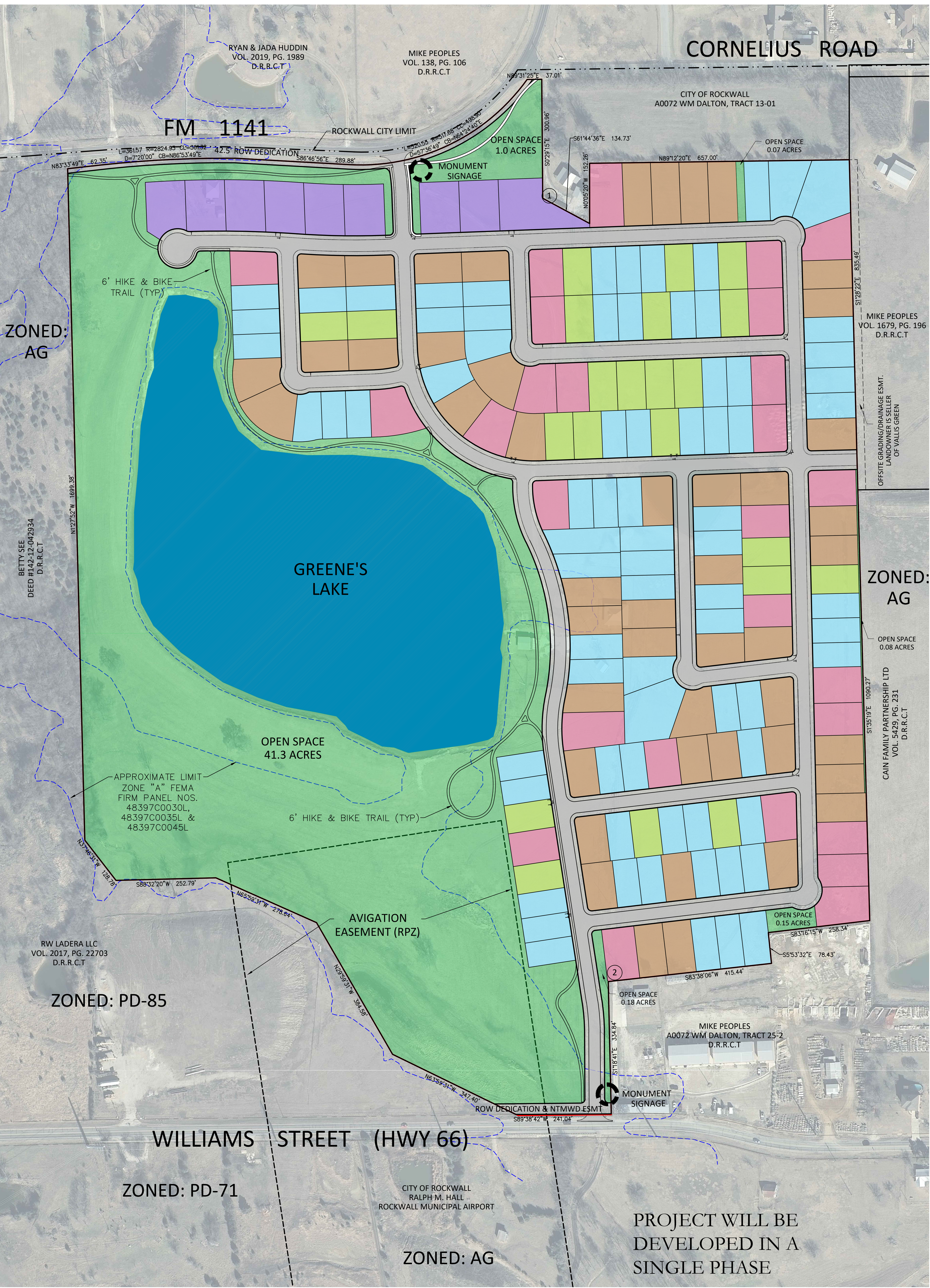
This letter is to inform you that the referenced development will be constructed in one (1) phase. Please let me know if you require anything further.

Sincerely,

Tom Dayton, PE
Vice President



P:\proj\21\proj\2115 - vallis green landscape\figs\2115 - open space plan.dwg



ALL LOTS LESS THAN 12,000 SF ARE LOCATED WITHIN 800 FT OF A PUBLIC OR PRIVATE OPEN SPACE.

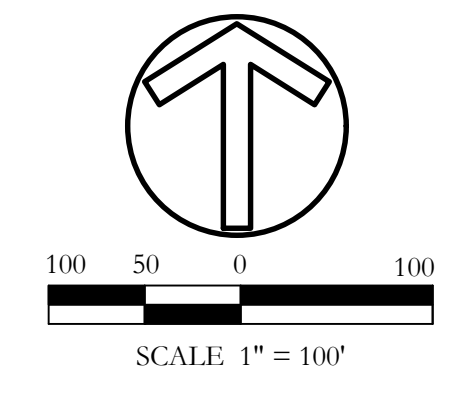
OPEN SPACE	ACRES
FLOOD PLAIN	29.72
OTHER	13.06
TOTAL	42.78
OPEN SPACE RATIO* [(29.72/2) + 13.06] / 94.13 =	29.7%

*ASSUMING HALF OF FLOODPLAIN

CONCEPT PLAN VALLIS GREENE

94.13 ACRES
ROCKWALL TEXAS

LOT TYPE	MIN. LOT AREA (SF)
A (100'x130')	13,000
B (82'x120')	10,000
C (72'x120')	9,000
D (72'x120')	8,400
E (62'x120')	7,200





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 10, 2022
APPLICANT: Humberto Johnson, Jr., *Skorburg Co.*
CASE NUMBER: P2022-017; *Final Plat for Winding Creek Subdivision*

SUMMARY

Consider a request by Humberto Johnson, Jr. of the Skorburg Co. on behalf of John Arnold of Falcon Place SF, LTD for the approval of a Final Plat for the Winding Creek Subdivision consisting of 132 single-family residential lots on a 78.831-acre tract of land identified as Tracts 17, 17-01, 22, 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses, generally located at the southeast corner of the intersection of FM-1141 and Clem Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Final Plat for a 78.831-acre parcel of land (*i.e. Tracts 17, 17-01, 22, 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72*) for the purpose of establishing the Winding Creek Subdivision. The single-family residential subdivision will consist of 132 single-family homes that are zoned Planned Development District 91 (PD-91) for Single-Family 16 (SF-16) District land uses. The site is generally located at the southeast corner of the intersection of FM-1141 and Clem Road. It should be noted that the applicant has submitted a site plan (*i.e. Case No. SP2022-015*) concurrently with this final plat that shows the proposed amenities, landscaping, and hardscape plans for the subdivision.
- On January 18, 2011, the City Council annexed the subject property by adopting *Ordinance No. 11-03* [Case No. A2010-002]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 5, 2021, the City Council approved a request to rezone [Case No. Z2021-005] the subject property from an Agricultural (AG) District to Planned Development District 91 (PD-91) [Ordinance No. 21-17] for Single-Family 16 (SF-16) District land uses. On June 21, 2021, the City Council approved a preliminary plat [Case No. P2021-026] for a 38.012-acre portion of the subject property. On August 2, 2021, the City Council approved an amendment to Planned Development District 91 (PD-91) [Case No. Z2021-027; Ordinance No. 21-36] increasing the area of the Planned Development District to 58.842-acres. This ordinance also increased the overall lot count from 56 to 98 lots. On October 18, 2021, the City Council approved a request to again amend Planned Development District 91 (PD-91) [Case No. Z2021-036; Ordinance No. 21-49] to incorporate an additional 20.00-acres into the Planned Development District and increase the lot count to 132 lots. On December 6, 2021, the City Council approved a *Preliminary Plat* [Case No. P2021-051] and *Master Plat* [Case No. P2021-052] for the *Winding Creek Subdivision*. On February 15, 2022, the Planning and Zoning Commission approved a *Tree Mitigation Plan* [Case No. MIS2022-003] showing how the tree mitigation balance will be satisfied for the *Winding Creek Subdivision*.
- On May 3, 2022, the Parks and Recreation Board reviewed the *Final Plat* and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay pro-rata equipment fees of \$76,164.00 (*i.e. \$577.00 x 132 Lots*), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$80,388.00 (*i.e. \$609.00 x 132Lots*), which will be due prior to the issuance of a building permit.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Final Plat for the *Winding Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;
- (2) The development of the subject property shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION S.E. Corner of Clem Rd. and FM. 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD

CURRENT USE Single Family Development

PROPOSED ZONING

PROPOSED USE

ACREAGE 78.83

LOTS [CURRENT] 1

LOTS [PROPOSED] 132

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Falcon Place SF, LTD.

APPLICANT Skorburg Company

CONTACT PERSON John Arnold

CONTACT PERSON Humberto Johnson Jr., P.E.

ADDRESS 8214 Westchester Dr.
Ste. 900

ADDRESS 8214 Westchester Dr.
Ste. 900

CITY, STATE & ZIP Dallas, TX 75225

CITY, STATE & ZIP Dallas, TX 75225

PHONE 214-535-2090

PHONE 682-225-5834

E-MAIL jarnold@skorburgcompany.com

E-MAIL jrjohnson@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Arnold [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

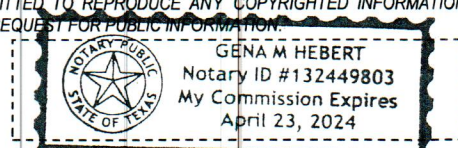
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 3703.20 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 19 DAY OF March, 20 22. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF March, 20 22

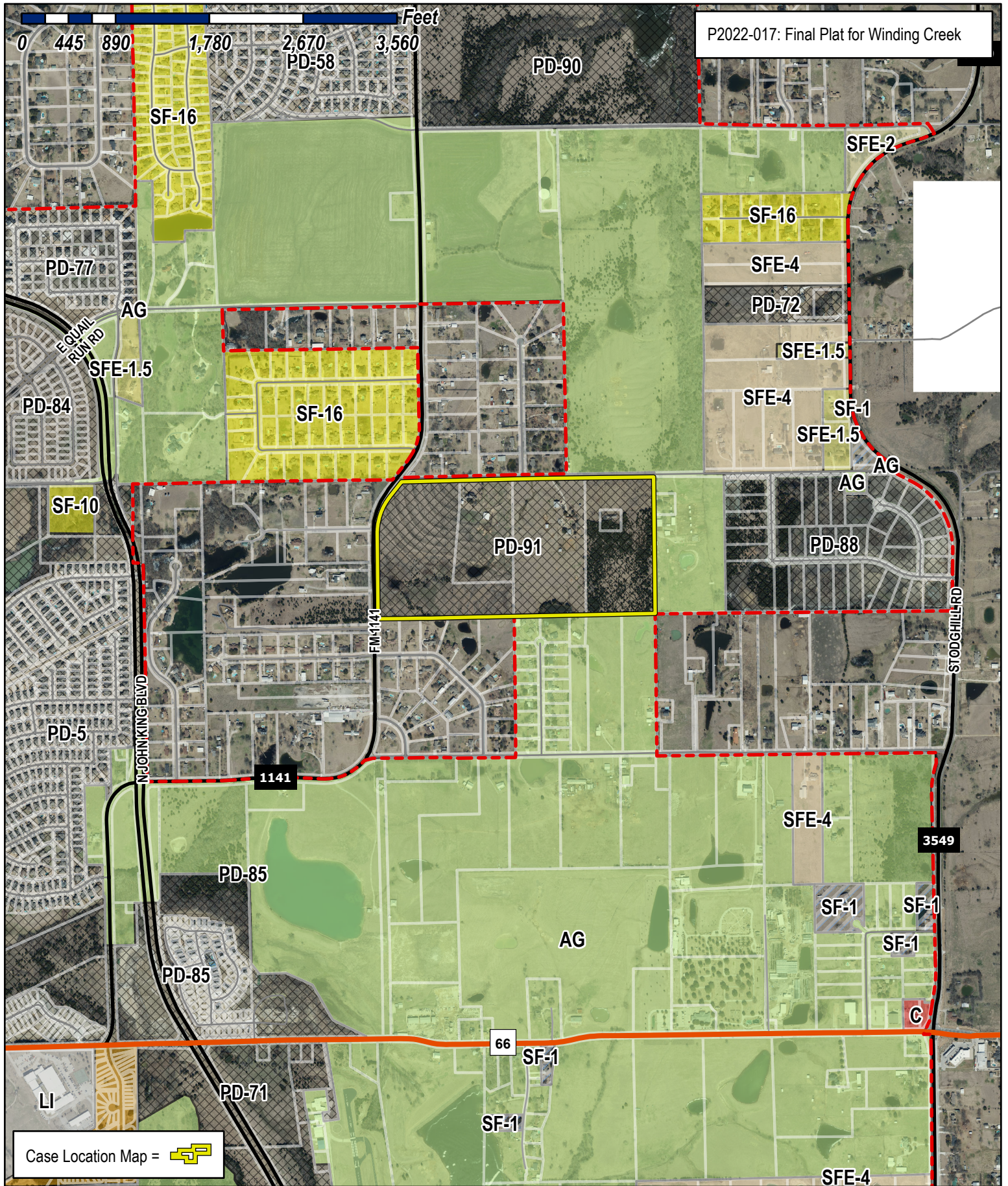
OWNER'S SIGNATURE

[Signature]
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 4/23/2024

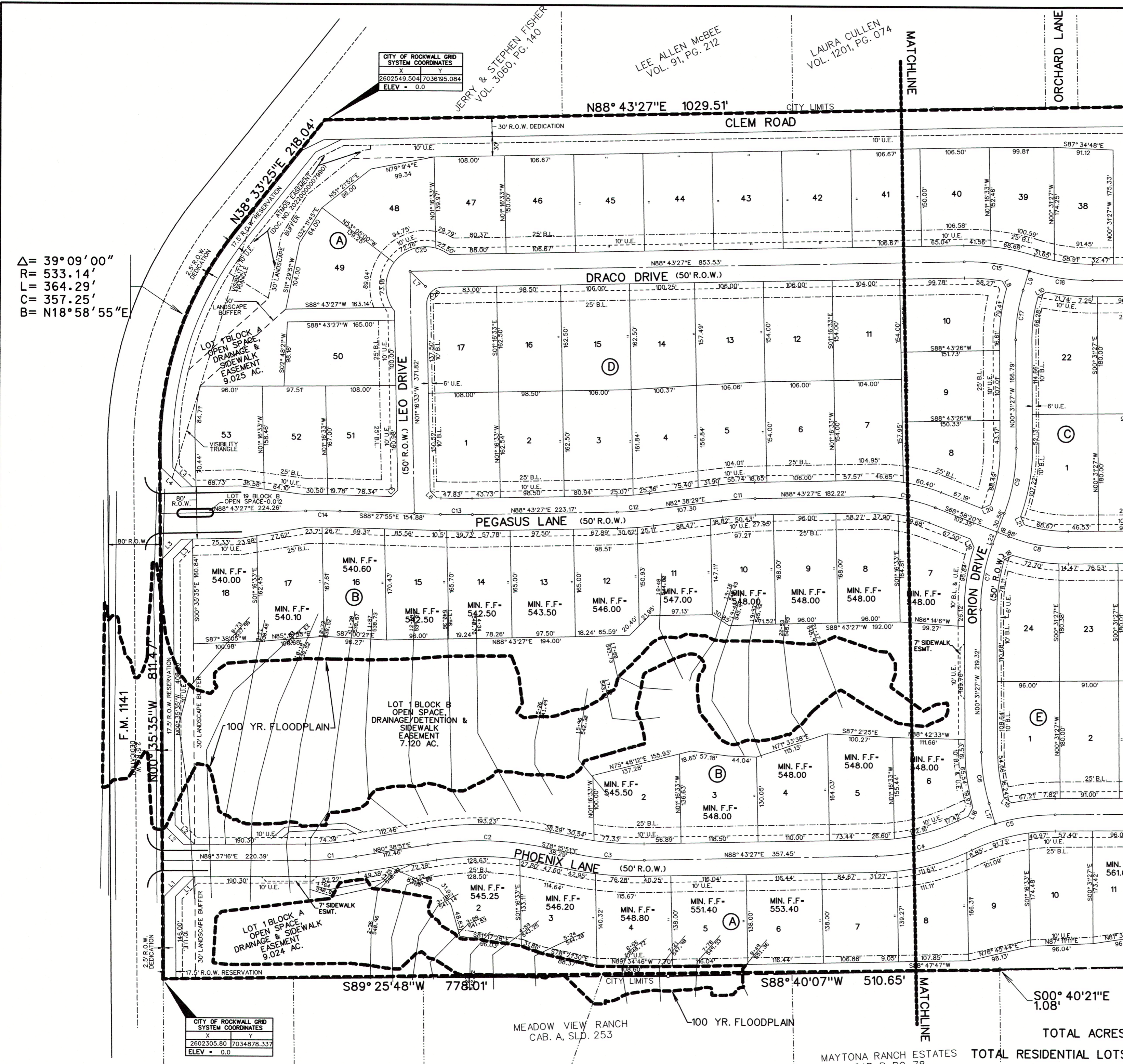


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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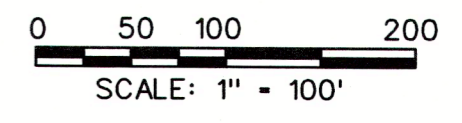




$\Delta = 39^{\circ}09'00''$
 $R = 533.14'$
 $L = 364.29'$
 $C = 357.25'$
 $B = N18^{\circ}58'55''E$

CITY OF ROCKWALL GRID
 SYSTEM COORDINATES
 X
 2602549.504 7036195.084
 Y
 ELEV = 0.0

CITY OF ROCKWALL GRID
 SYSTEM COORDINATES
 X
 2602305.80 7034878.337
 Y
 ELEV = 0.0



LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 44° 30' 50" E	42.35'
2.	N 45° 29' 10" W	42.51'
3.	N 44° 03' 56" W	42.68'
4.	N 45° 56' 04" W	42.17'
5.	N 45° 07' 46" W	13.79'
6.	S 44° 52' 14" E	14.48'
7.	S 46° 16' 33" E	33.36'
8.	S 31° 05' 48" E	13.36'
9.	S 16° 58' 20" W	31.36'
10.	N 59° 47' 33" E	14.81'
11.	S 28° 38' 58" W	29.95'
12.	N 44° 28' 33" E	14.14'
13.	S 45° 31' 27" W	14.14'
14.	N 52° 35' 52" W	20.06'
15.	S 57° 40' 22" W	14.22'
16.	N 27° 24' 04" E	15.23'
17.	N 17° 03' 31" W	32.60'
18.	N 63° 33' 47" E	14.11'
19.	S 25° 03' 18" E	14.41'
20.	N 65° 57' 54" E	14.13'
21.	S 25° 25' 41" E	13.81'
22.	N 20° 47' 52" E	19.73'

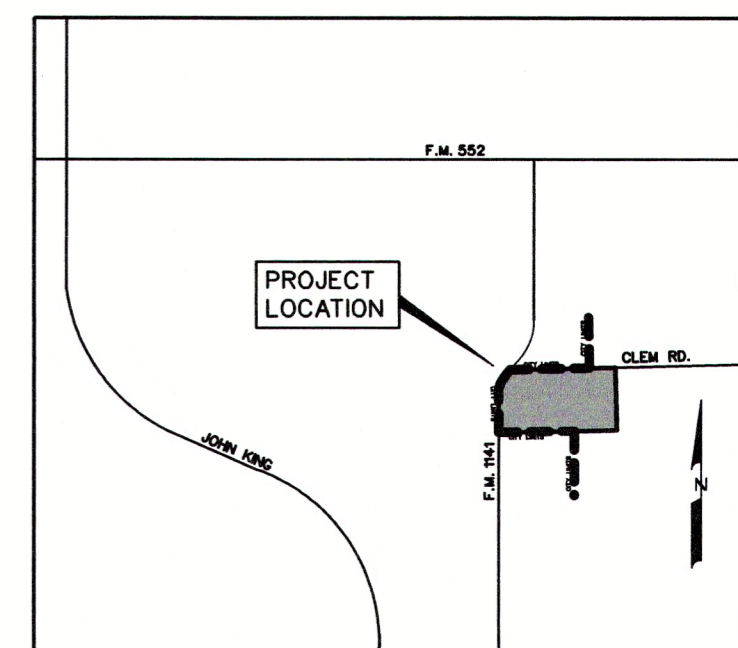
CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	08° 58' 25"	500.00'	78.31'	78.23'	N85° 08' 03" E
2.	21° 05' 19"	500.00'	184.03'	183.00'	N80° 38' 51" E
3.	13° 00' 42"	500.00'	113.55'	113.31'	S84° 46' 12" E
4.	24° 51' 04"	325.00'	140.96'	139.86'	N76° 33' 26" E
5.	25° 20' 39"	325.00'	143.76'	142.59'	N76° 48' 14" E
6.	16° 32' 04"	276.00'	79.65'	79.37'	N08° 47' 29" W
7.	21° 19' 19"	276.00'	102.71'	102.12'	N10° 08' 13" E
8.	21° 33' 07"	250.00'	94.04'	93.49'	S79° 44' 53" E
9.	21° 19' 19"	275.00'	102.34'	101.75'	N10° 08' 13" E
10.	22° 18' 13"	250.00'	97.32'	96.71'	S80° 07' 26" E
11.	06° 04' 58"	500.00'	53.08'	53.06'	S85° 40' 58" W
12.	06° 04' 58"	500.00'	53.08'	53.06'	S85° 40' 58" W
13.	02° 48' 38"	1000.00'	49.05'	49.05'	N89° 52' 14" W
14.	02° 48' 42"	1077.40'	52.87'	52.87'	S89° 58' 11" E
15.	18° 02' 48"	325.00'	102.37'	101.94'	S82° 15' 09" E
16.	17° 17' 41"	325.00'	98.10'	97.73'	S81° 52' 36" E
17.	17° 29' 47"	251.00'	76.65'	76.35'	N08° 13' 27" E
18.	48° 22' 30"	9.50'	8.02'	7.78'	S66° 20' 12" E
19.	177° 10' 14"	61.00'	194.65'	121.96'	N46° 26' 10" E
20.	44° 27' 16"	9.50'	7.37'	7.19'	N22° 45' 50" W
21.	90° 00' 00"	25.50'	40.06'	36.06'	N44° 28' 33" E
22.	45° 51' 26"	9.50'	7.60'	7.40'	N22° 24' 16" E
23.	90° 00' 00"	25.50'	40.06'	36.06'	N45° 31' 27" W
24.	30° 38' 59"	9.50'	5.08'	5.02'	N74° 09' 04" E
25.	16° 24' 07"	61.00'	175.03'	120.87'	N43° 43' 27" E
26.	90° 00' 00"	25.00'	39.27'	35.36'	N43° 43' 27" E

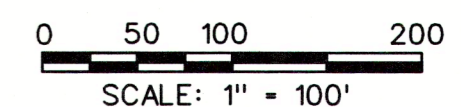
FINAL PLAT
 OF
**WINDING CREEK
 SUBDIVISION**
 LOTS 1-53 BLOCK A; LOTS 1-19 BLOCK B
 LOTS 1-22, BLOCK C; LOTS 1-17, BLOCK D;
 LOTS 1-24 BLOCK E
 BEING
 78.831 ACRES or 3,433,878.6 SF
 TOTAL RESIDENTIAL LOTS 132
 TOTAL OPEN SPACE LOTS 3
 BEING
 TRACTS 17,17-01, 22, 22-04 & 22-05
 OUT OF THE
 W.M. DALTON SURVEY, ABSTRACT NO. 72
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 APPLICANT/OWNERS
FALCON PLACE SF, LTD.
 8214 WESTCHESTER DRIVE., SUITE 710
 DALLAS, TEXAS 75225
 214-522-4945
 GORDON C. FOGG
 PO BOX 842
 ROCKWALL, TEXAS 75087

TOTAL ACRES **78.831**
 TOTAL RESIDENTIAL LOTS **132**
 DENSITY **1.674**

ERWIN KARL DANIEL
VOL. 6424, PG. 27



WILLIAM McCALLUM
DOC. NO. 2015-000001423



NOTES

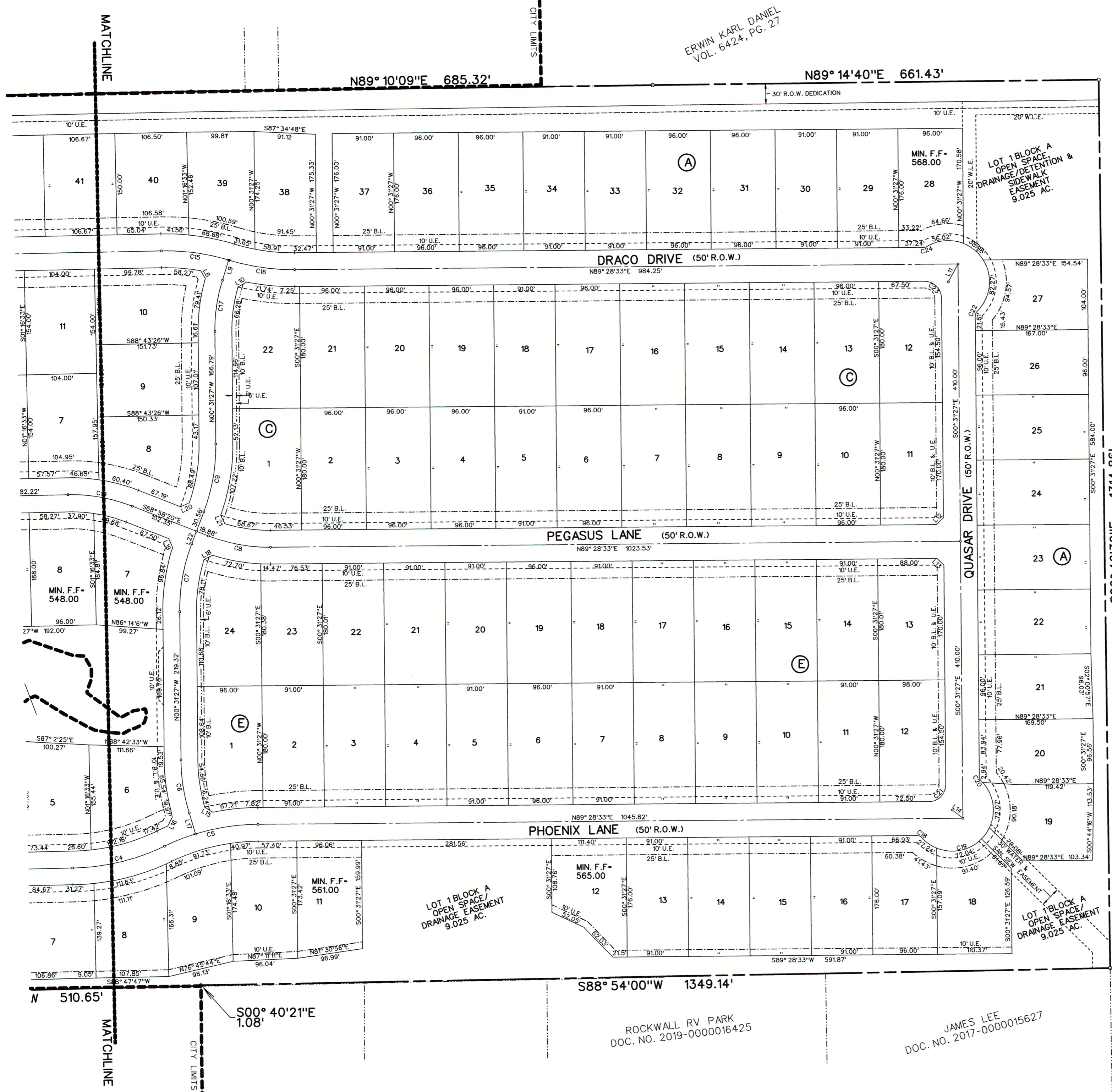
1. Bearings are referenced to the State of Texas Plane Coordinate System, North Central Zone, NAD83.
 2. All lot lines are radial/perpendicular to the street unless otherwise noted by bearing.
 3. 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
 4. B.L. - Building Line.
U.E. - Utility Easements.
C.M. - Controlling Monument.
D.E. - Drainage Easement
 5. The HOA will be responsible for maintaining the open space/drainage easement lots.
 6. All non-standard decorative street signs, light poles/post, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
 7. All landscape easements are to be owned, maintained, repaired and replaced by the Homeowners Association.
- No trees to be placed in right-of-ways or 10' utility easements
8. along right-of-ways or along lot lines.

FINAL PLAT
OF
**WINDING CREEK
SUBDIVISION**
LOTS 1-53 BLOCK A; LOTS 1-19 BLOCK B
LOTS 1-22, BLOCK C; LOTS 1-17, BLOCK D;
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214-522-4945

GORDON C. FOGG
PO BOX 842
ROCKWALL, TEXAS 75087

APRIL 2022 SCALE 1" = 100'



OWNER'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as the WINDING CREEK SUBDIVISION, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the WINDING CREEK SUBDIVISION, subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. The detention and drainage systems are to be maintained, repaired and owned by the HOA/subdivision. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.
7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or all non-standard street signage (name blades, posts, etc) will be owned and maintained by the HOA.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

FALCON PLANCE SF, LTD.

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____, 2022.

Notary Public in and for the State of Texas

My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

LEGAL DESCRIPTION

BEING, a tract of land situated in the William Dalton Survey, Abstract No. 72 in Rockwall County, Texas, being all of Tracts A, B, C, D, & E, as described in Clerks File No. 20210000034941, in the Deed Records of Rockwall County, Texas being more particularly described as follows:

BEGINNING, at a mag nail found at the northwest corner of said Tract A, being in the easterly line of F.M. 1141 (80 feet width right-of-way), also being in the approximate center of Clem Road (by use and occupation);

THENCE, North 88° 43' 27" East, along said approximate centerline, for a distance of 1029.51 feet, to a mag nail found at the northeast corner of said Tract B and being the northwest corner of said Tract D;

THENCE, North 89° 10' 09" East, continuing along said centerline and with north line of said Tract D, for a distance of 685.32 feet, to a mag nail found at the northeast corner of Tract D and being the northwest corner of said Tract E;

THENCE, North 89° 14' 40" East, continuing along said centerline and with the north line of Tract E, for a distance of 661.43 feet, to a mag nail found at the northeast corner of Tract E and being the northwest corner of a tract of land in Deed to Craig William McCallum, as described in in Doc. No. 20150000001423 in said Deed Records;

THENCE, South 00° 46' 30" East, departing said centerline and along the east line of Tract E and the west line of said Craig William McCallum tract, for a distance of 1314.88 feet, to a 1/2 inch iron rod at the southeast corner of Tract E and the southwest corner of said McCallum;

THENCE, South 88° 54' 00" West, along the south line of Tract E, at 661.41 feet, passing a 1/2 inch iron rod at the southwest corner of Tract E, same being the southeast corner of Tract D, continuing for a total distance of 1349.14 feet, to a 1/2 inch iron rod found at the southwest corner of Tract D and being in the east line of Tract A;

THENCE, South 00° 40' 21" East, along the east line of said Tract A, for a distance of 1.08 feet, to a 1/2 inch iron rod found at the southeast corner of Tract A being the northeast corner of Meadow View Ranch, an addition to the City of Rockwall, as described in Cab. A, Slide 253, in the Plat Records of Rockwall County, Texas;

THENCE, South 88° 40' 07" West, along the south line of Tract A and the north line of said Meadow View Ranch, for a distance of 510.65 feet, to a 1/2 inch iron rod found;

THENCE, South 89° 25' 48" West, continuing along said south line and with north line of Meadow View Ranch, for a distance of 778.01 feet, to a 5/8 inch iron found at the southwest corner of Tract A and being in the east line of said F.M. 1141;

THENCE, North 00° 35' 35" West, along the west line of Tract A and with the east line of F.M. 1141, for a distance of 811.47 feet, to a 1/2 inch iron found at the point of curvature of a curve to the right, having a radius of 533.14 feet, a central angle of 39° 09' 00";

THENCE, continuing along said east and west lines and with said curve to the right, for an arc distance of 364.29 feet (Chord Bearing North 18° 58' 55" East 357.25 feet), to a 1 inch iron rod at the point of tangency;

THENCE, North 38° 33' 25" East, continuing along said lines, for a distance of 218.04 feet, to the POINT OF BEGINNING and containing 78.831 acres of land.

SURVEYOR CERTIFICATE

I, PATRICK J. BALDASARO, do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made under my direction and supervision and all corners are as shown thereon and there are no encroachments, conflicts, protrusions or visible utilities on the ground except as shown and said plat has been prepared in accordance with the platting rules and regulations of the City Plan Commission of the City of Rockwall, Texas.

DATED the this _____ day of _____, 2022.

PATRICK J. BALDASARO
R.P.L.S. No. 5504

Planning & Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the Court Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

Mayor, City of Rockwall

City Secretary

City Engineer

FINAL PLAT
OF
WINDING CREEK
SUBDIVISION
LOTS 1-53 BLOCK A; LOTS 1-19 BLOCK B
LOTS 1-22, BLOCK C; LOTS 1-17, BLOCK D;
LOTS 1-24 BLOCK E

BEING
78.831 ACRES or 3,433,878.6 SF
TOTAL RESIDENTIAL LOTS 132
TOTAL OPEN SPACE LOTS 3

BEING
TRACTS 17,17-01, 22, 22-04 & 22-05

OUT OF THE
W.M. DALTON SURVEY, ABSTRACT NO. 72
IN THE

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
APPLICANT/OWNERS
FALCON PLACE SF, LTD.

8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945

GORDON C. FOGG
PO BOX 842
ROCKWALL, TEXAS 75087

APRIL 2022



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 10, 2022
APPLICANT: Heather Cullins
CASE NUMBER: P2022-020; *Preliminary Plat for Smith Family Acres Subdivision*

SUMMARY

Discuss and consider a request by Heather Cullins on behalf of Shirley Smith of Smith Family Acres, LLC for the approval of a Preliminary Plat for the Smith Family Acres Subdivision consisting of four (4) single-family residential lots on a 44.525-acre tract of land identified as Tract 7-1 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses, generally located on the west side of John King Boulevard north of the intersection of John King Boulevard and FM-552, and take any action necessary.

PLAT INFORMATION

- The purpose of the applicant's request is to Preliminary Plat a 44.525-acre parcel of land (*i.e. Tract 7-1 of the J. Strickland Survey, Abstract No. 187*) to show the future establishment of four (4) single-family lots (*i.e. Lots 1-4, Block A, Smith Family Acres Subdivision*). The proposed Preliminary Plat lays out the necessary easements (*e.g. fire lane, public access/right-of-way, utilities, and drainage*) for the future development of the subdivision.
- The subject property was annexed on February 4, 2008 by *Ordinance No. 08-12 [Case No. A2004-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 20, 2009, the City Council approved *Ordinance 09-19 [Case No. Z2009-005]* that rezoned the subject property from Agricultural (AG) District to Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses. The City Council superseded *Ordinance 09-19* four (4) times with *Ordinance No.'s 12-26, 14-26, 16-59, & 17-60 [Case No.'s Z2012-013, Z2014-017, Z2016-032, & Z2017-049]*. Despite the changes made to Planned Development District 74 (PD-74), the subject property remains zoned for Single-Family 10 (SF-10) land uses and is currently unplatted.
- On May 3, 2022, the Parks and Recreation Board reviewed the Preliminary Plat and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay pro-rata equipment fees of \$1,728.00 (*i.e. \$432.00 x 4 Lots*), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$1,824.00 (*i.e. \$456.00 x 4 Lots*), which will be due prior to the issuance of a building permit.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Preliminary Plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* - is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Preliminary Plat for the *Smith Family Acres Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,
- (2) The development shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2022-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS *Legal A0187 J Strickland, A0190 J Simmons, A003DTR BACT 7-1*

SUBDIVISION *None*

LOT

BLOCK

GENERAL LOCATION *John King Blvd - across from Breezy Hill*

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING *PD50*

CURRENT USE *AG*

PROPOSED ZONING *SFE*

PROPOSED USE *SFE*

ACREAGE *44.52*

LOTS [CURRENT] *0*

LOTS [PROPOSED] *4*

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER *Smith Family Acres, LLC*

APPLICANT *Heather Cullins*

CONTACT PERSON *Shirley Smith*

CONTACT PERSON *David Stubblefield / Stewart Stokes*

ADDRESS *800 Eagle Pass*

ADDRESS *401 Country Ridge Road*

CITY, STATE & ZIP *Heath, TX 75032*

CITY, STATE & ZIP *Rockwall, TX 75087*

PHONE *214-244-4336*

PHONE *972-849-8136*

E-MAIL *shirleylsmith25@yahoo.com*

E-MAIL *heather.cullins@gmail.com*

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED *Heather Cullins* [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ *867.80* TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE *14th* DAY OF *April*, 20 *22*. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE *14* DAY OF *April*, 20 *22*.

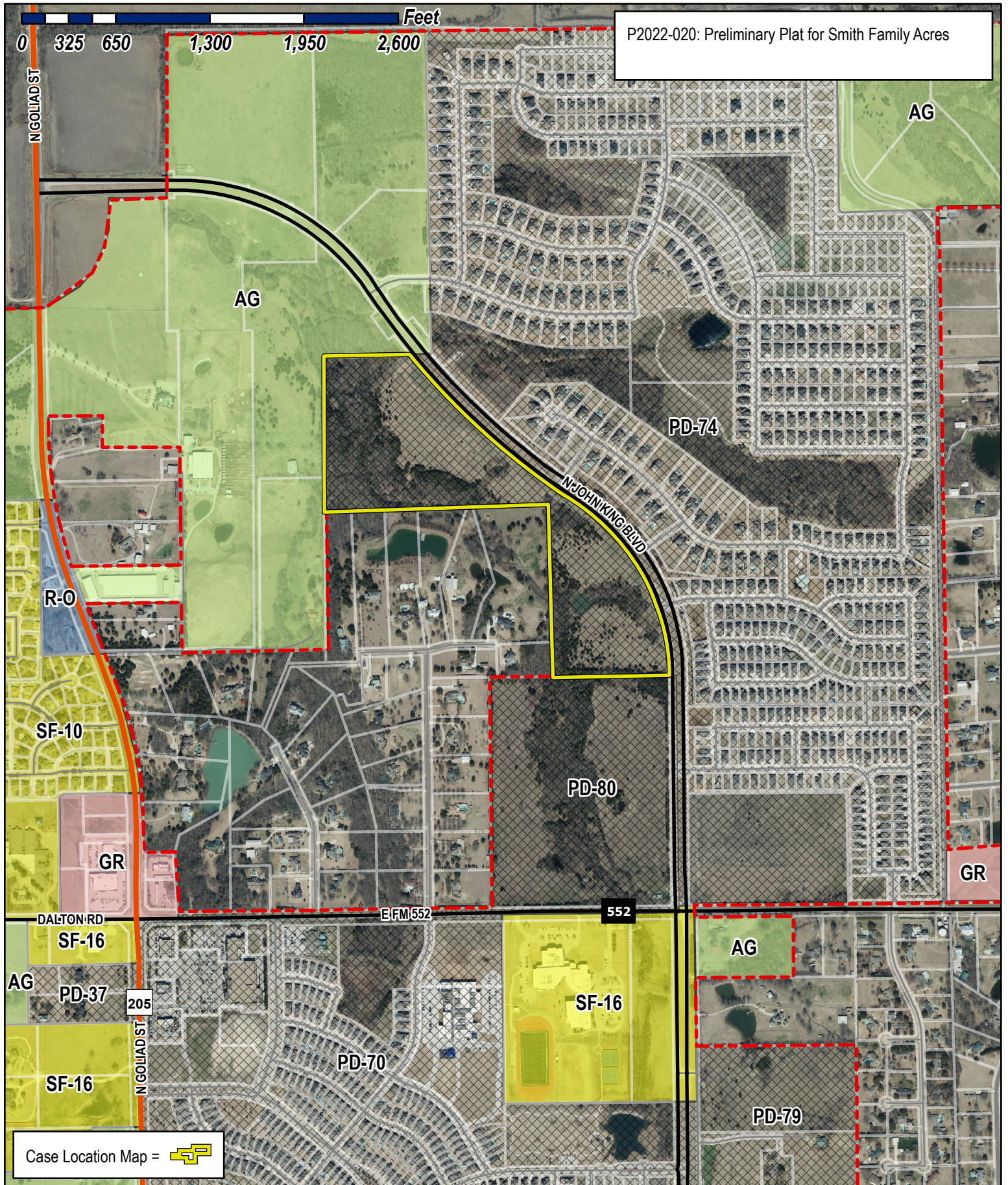
OWNER'S SIGNATURE

Heather Cullins
Shirley L. Smith
David Stubblefield


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES *June 19, 2024*



P2022-020: Preliminary Plat for Smith Family Acres

Case Location Map = 



City of Rockwall

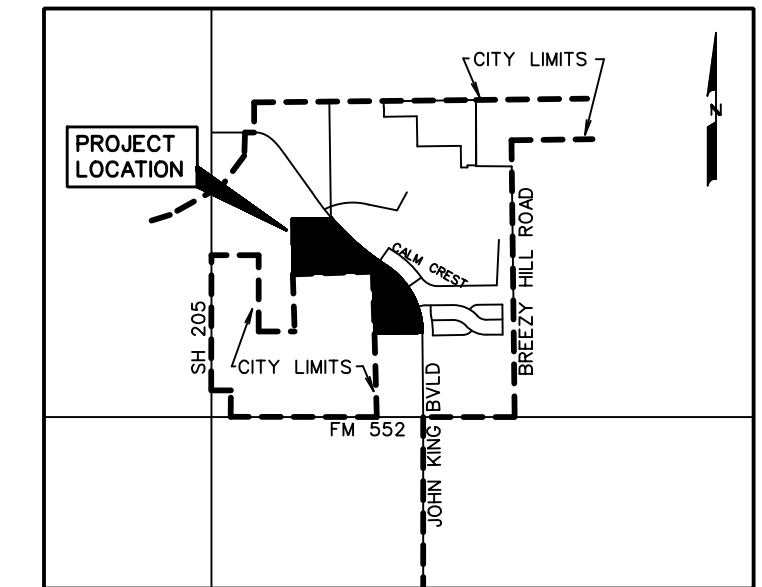
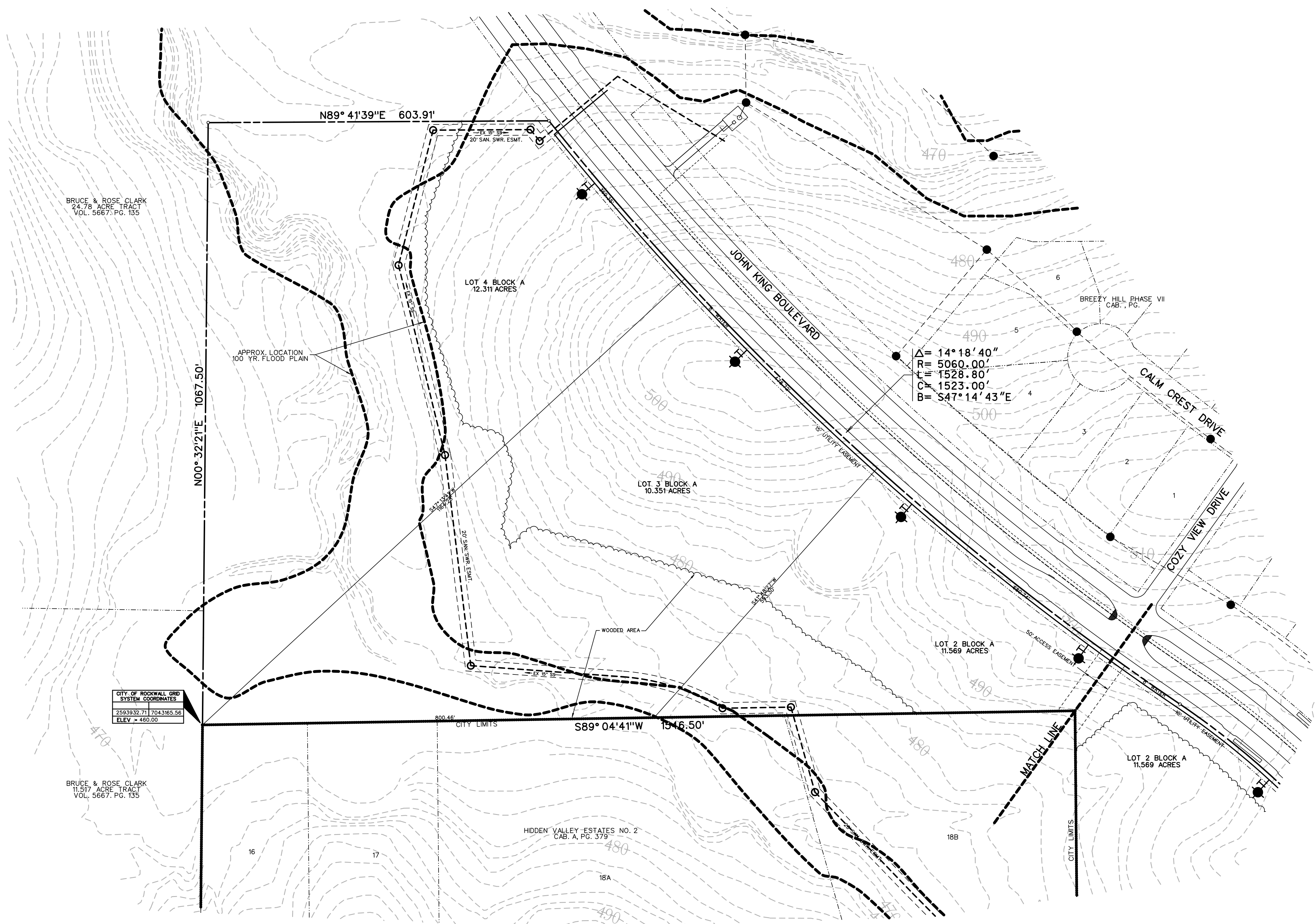
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





0 50 100 200
SCALE: 1" = 100'



LOCATION MAP
N.T.S.

CITY OF ROCKWALL GRID
SYSTEM COORDINATES
Easting: 711704.3185, 56
Elev: 440.00

PRELIMINARY PLAT
OF
SMITH FAMILY ACRES

LOTS 1-4, BLOCK A
44.525 AC. or 1,939,509.00 SF
4 SINGLE FAMILY LOTS
SITUATED WITHIN
TRACT 7-1
OUT OF THE

J. STRICKLAND SURVEY, ABSTRACT NO. 187

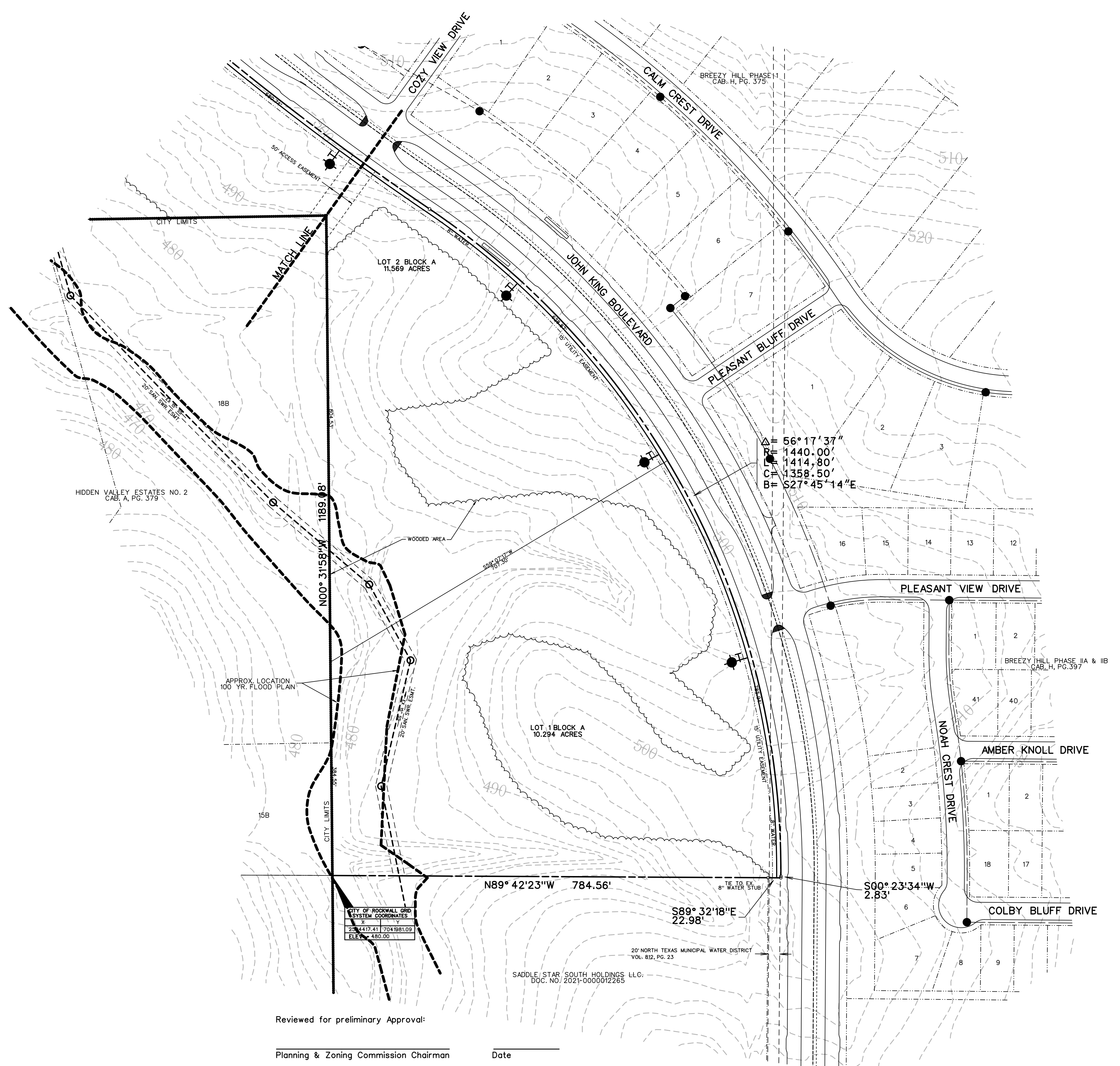
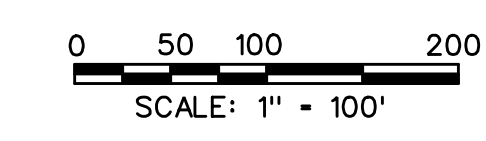
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
SMITH FAMILY ACRES, LLC.
800 EAGLE PASS
HEATH, TEXAS 75032

Zoning: Planned Development District (PD-74)
Land use: Single-Family 10 (SF-10) District

TOTAL ACRES	44.525
TOTAL ESTATE LOTS	4
DENSITY	0.09

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

MAY 2022 SCALE 1" = 100'



$\Delta = 56^\circ 17' 37''$
 $R = 1440.00'$
 $C = 1358.50'$
 $B = S27^\circ 45' 14'' E$

CITY OF ROCKWALL GROUND SYSTEM COORDINATES
 2154417.41 7041881.09
 ELEVATION 480.00

PRELIMINARY PLAT
 OF
SMITH FAMILY ACRES

LOTS 1-4, BLOCK A
 44.525 AC. or 1,939,509.00 SF
 4 SINGLE FAMILY LOTS
 SITUATED WITHIN
 TRACT 7-1
 OUT OF THE

J. STRICKLAND SURVEY, ABSTRACT NO. 187

IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNER
 SMITH FAMILY ACRES, L.L.C.
 800 EAGLE PASS
 HEATH, TEXAS 75032

PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200

Reviewed for preliminary Approval:

Planning & Zoning Commission Chairman _____ Date _____

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, on the _____ of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

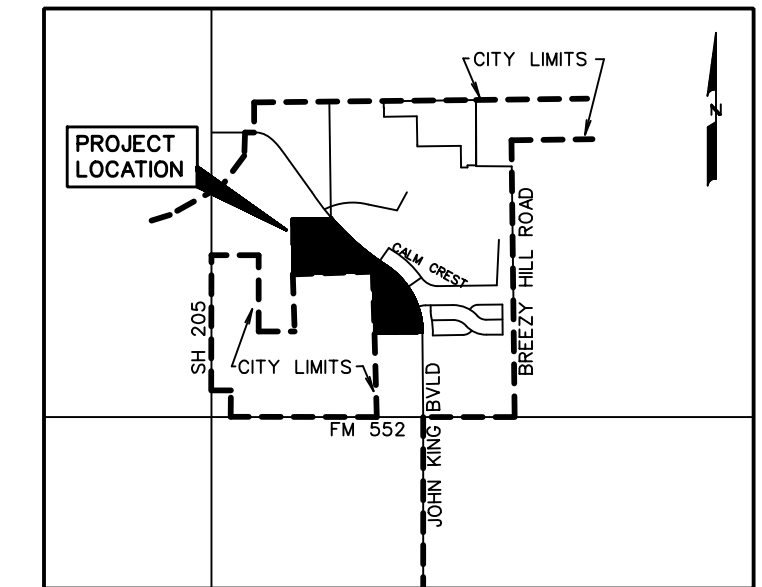
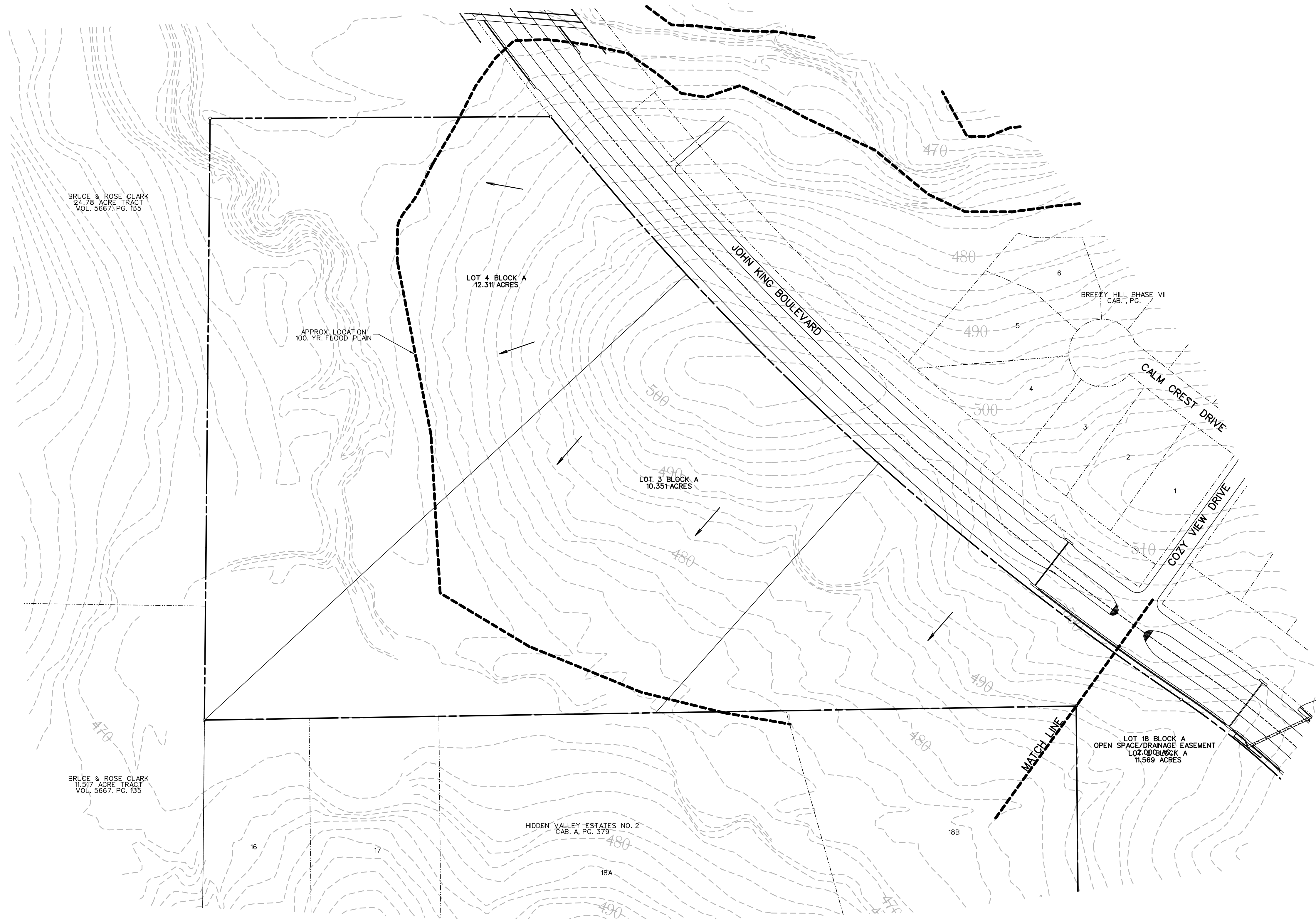
Zoning: Planned Development District (PD-74)
 Land use: Single-Family 10 (SF-10) District

TOTAL ACRES	44.525
TOTAL ESTATE LOTS	4
DENSITY	0.09

MAY 2022 SCALE 1" = 100'



0 50 100 200
SCALE: 1" = 100'



LOCATION MAP
N.T.S.

PRELIMINARY
DRAINAGE PLAN
OF
BREEZY HILL ESTATES
LOTS 1-4, BLOCK A
BEING 44.525 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
SMITH FAMILY ACRES, LLC.
800 EAGLE PASS
HEATH, TEXAS 75032

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

APRIL 2022 SCALE 1" = 100'

0 50 100 200
SCALE: 1" = 100'



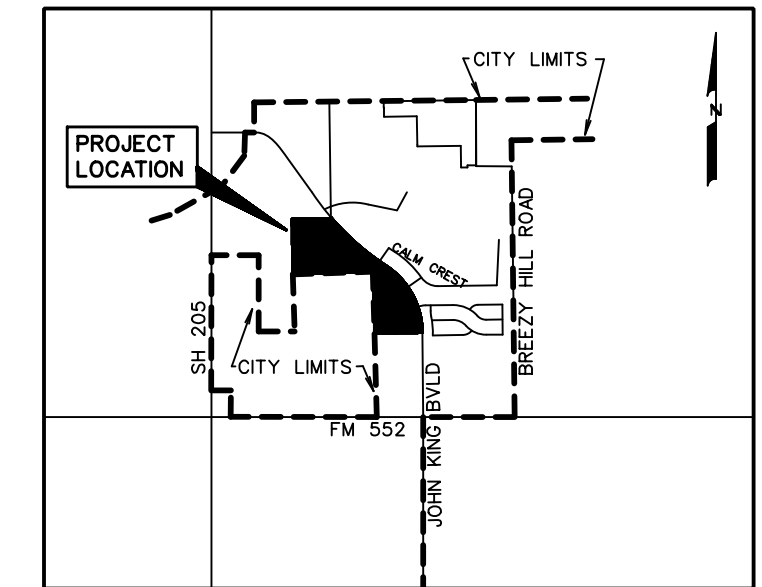
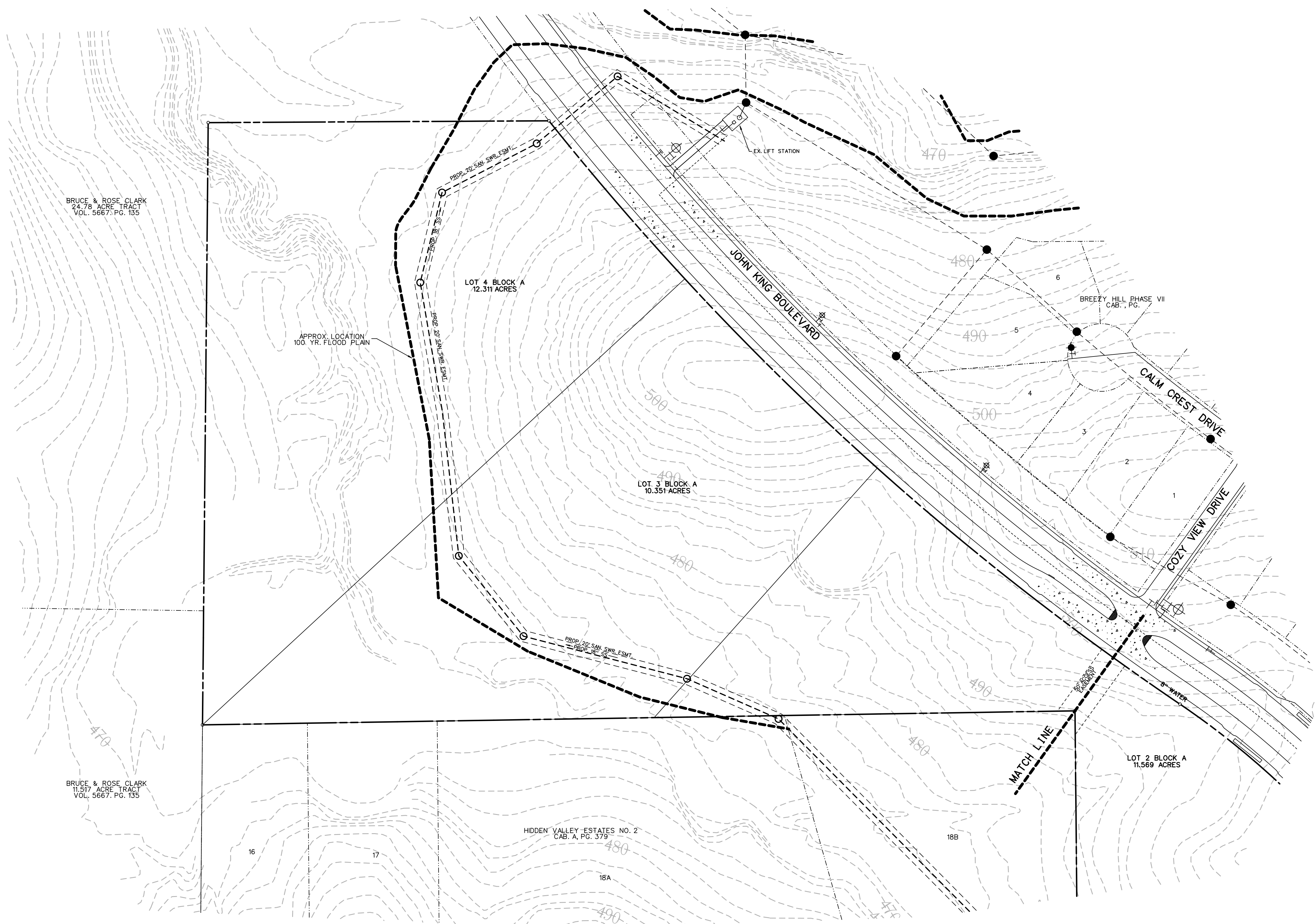
PRELIMINARY
DRAINAGE PLAN
OF
BREEZY HILL ESTATES
LOTS 1-4, BLOCK A
BEING 44.525 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
SMITH FAMILY ACRES, LLC.
800 EAGLE PASS
HEATH, TEXAS 75032

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

APRIL 2022 SCALE 1" = 100'



0 50 100 200
SCALE: 1" = 100'



LOCATION MAP
N.T.S.

LEGEND

- PROP. WATER LINE
- PROP. FIRE HYDRANT AND VALVE
- PROP. GATE VALVE
- PROP. FLUSH VALVE
- EXIST. WATER LINE
- EXIST. FIRE HYDRANT AND VALVE
- PROP. SANITARY SEWER
- PROP. MANHOLE
- PROP. CLEANOUT
- EXIST. SANITARY SEWER
- EXIST. MANHOLE
- PROP. STORM SEWER
- PROP. CURB INLETS
- PROP. CONC. HEADWALL

BRUCE & ROSE CLARK
24.78 ACRE TRACT
VOL. 5667, PG. 153

BRUCE & ROSE CLARK
11.517 ACRE TRACT
VOL. 5667, PG. 135

LOT 4 BLOCK A
12.311 ACRES

LOT 3 BLOCK A
10.351 ACRES

LOT 2 BLOCK A
11.569 ACRES

HIDDEN VALLEY ESTATES NO. 2
CAB. A, PG. 378

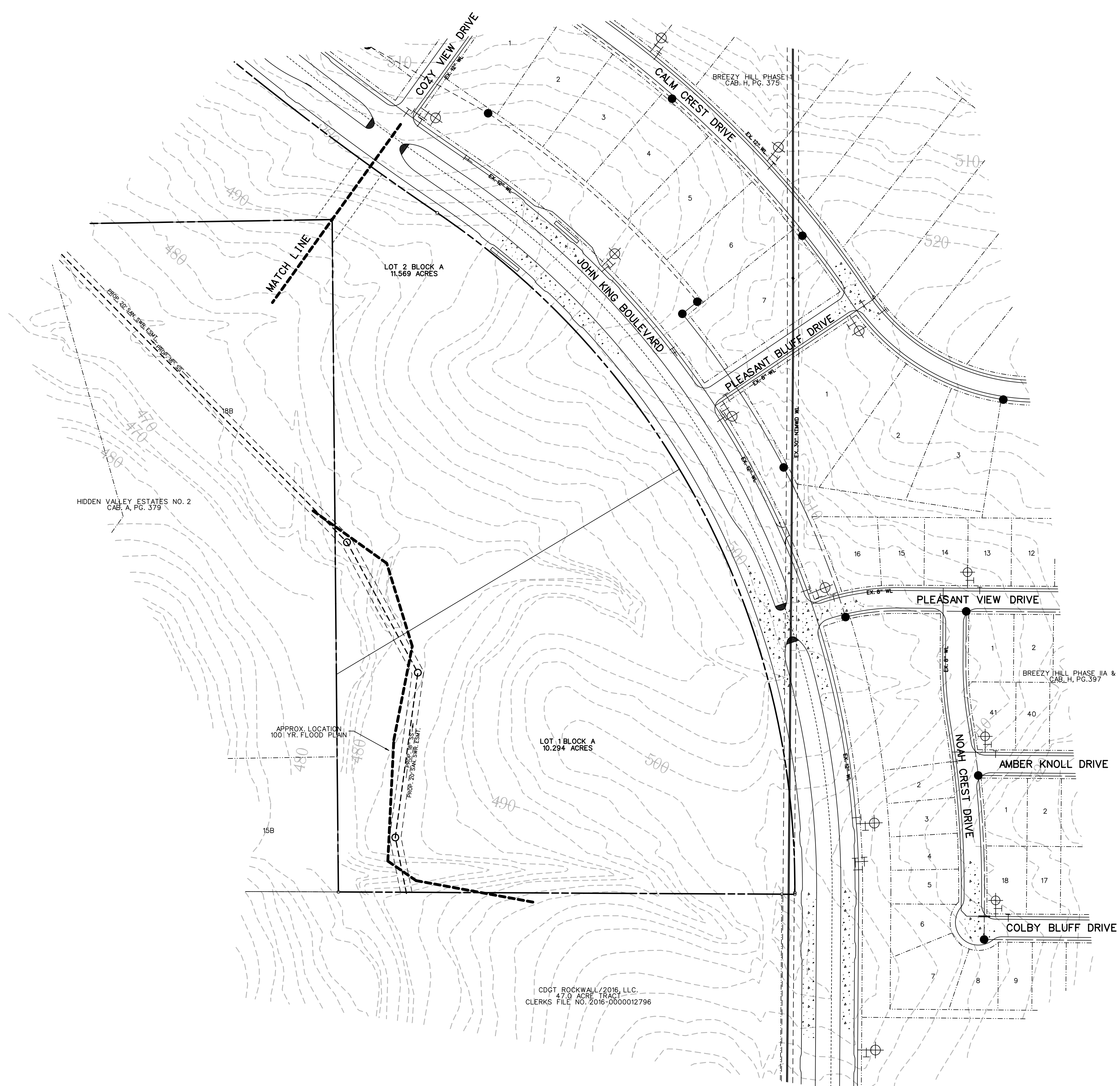
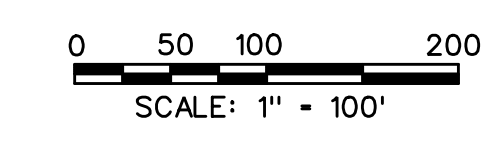
PRELIMINARY
WATER & SANITARY PLAN
OF
BREEZY HILL ESTATES
LOTS 1-4, BLOCK A
BEING 44.525 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
SMITH FAMILY ACRES, LLC.
800 EAGLE PASS
HEATH, TEXAS 75032

Zoning: Planned Development District (PD-74)

TOTAL ACRES	44.525
TOTAL ESTATE LOTS	4
DENSITY	11.131

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

APRIL 2022 SCALE 1" = 100'



CDGT, ROCKWALL (2016), LLC.
47.0 ACRES TRACT
CLERKS FILE NO. 2016-000012796

PRELIMINARY
WATER & SANITARY PLAN
OF
BREEZY HILL ESTATES
LOTS 1-4, BLOCK A
BEING 44.525 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
SMITH FAMILY ACRES, LLC.
800 EAGLE PASS
HEATH, TEXAS 75032

Zoning: Planned Development District (PD-74)

TOTAL ACRES	44.525
TOTAL ESTATE LOTS	4
DENSITY	11.131

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

APRIL 2022 SCALE 1" = 100'



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Planner*
DATE: May 10, 2022
SUBJECT: SP2022-015; *Site Plan for the Winding Creek Subdivision*

The applicant, Humberto Johnson, Jr. of the Skorburg Co., is requesting the approval of a site plan for the Winding Creek Subdivision. The subject property is a 78.831-acre tract of land (*i.e. Tracts 17, 17-01, 22, 22-04 & 22-05 of the W. M. Dalton Survey, Abstract No. 72*) generally located at the southeast corner of the intersection of FM-1141 and Clem Road. The Winding Creek Subdivision has been approved for a *Preliminary Plat* [Case No. P2021-051], and -- *in accordance with the submittal schedule contained in the Planned Development District* -- the applicant has submitted an application for a *Final Plat* [Case No. P2022-017]. As part of this site plan application the applicant has submitted a site plan, landscape plan, and hardscape plan.

The site plan indicates that 132 single-family residential lots and three (3) open space lots will be provided in accordance with the requirements of Planned Development District 91 (PD-91). The landscape plan shows that three (3) canopy and four (4) accent trees will be provided per 100 linear feet of frontage along FM-1141 and Clem Road, and one (1) canopy tree will be provided per 20 linear feet along the southern property line. Staff should note that the tree mitigation balance identified in the approved *Treescape Plan* [Case No. MIS2022-003] has been accounted for in the landscape plan, and the mitigation balance has been satisfied. The hardscape plan details the entry monumentation signage, the location of all the five (5) and six (6) foot required trails, and the fence type for each lot (*i.e. wrought iron fence, wood fence, and a wrought iron fence with masonry columns*) as required throughout the subdivision by the Planned Development District ordinance. The submitted site plan conforms to all the applicable technical requirements of Planned Development District 91 (PD-91) and the Unified Development Code (UDC), and -- *based on the case being in compliance* -- the case is being placed on the consent agenda. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the May 10, 2022 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2022-015

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION S.E. Corner of Clem Rd. and FM. 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD

CURRENT USE

Single Family Development

PROPOSED ZONING

PROPOSED USE

ACREAGE 78.83

LOTS [CURRENT]

1

LOTS [PROPOSED]

132

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Falcon Place SF, LTD.

APPLICANT Skorburg Company

CONTACT PERSON John Arnold

CONTACT PERSON Humberto Johnson Jr., P.E.

ADDRESS 8214 Westchester Dr.
Ste. 900

ADDRESS 8214 Westchester Dr.
Ste. 900

CITY, STATE & ZIP Dallas, TX 75225

CITY, STATE & ZIP Dallas, TX 75225

PHONE 214-535-2090

PHONE 682-225-5834

E-MAIL jarnold@skorburgcompany.com

E-MAIL jrjohnson@skorburgcompany.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Arnold [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

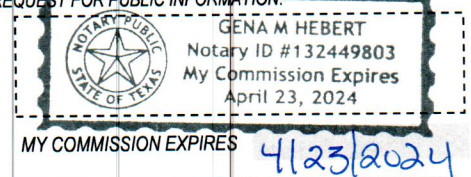
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 3703.20 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF March, 20 22 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

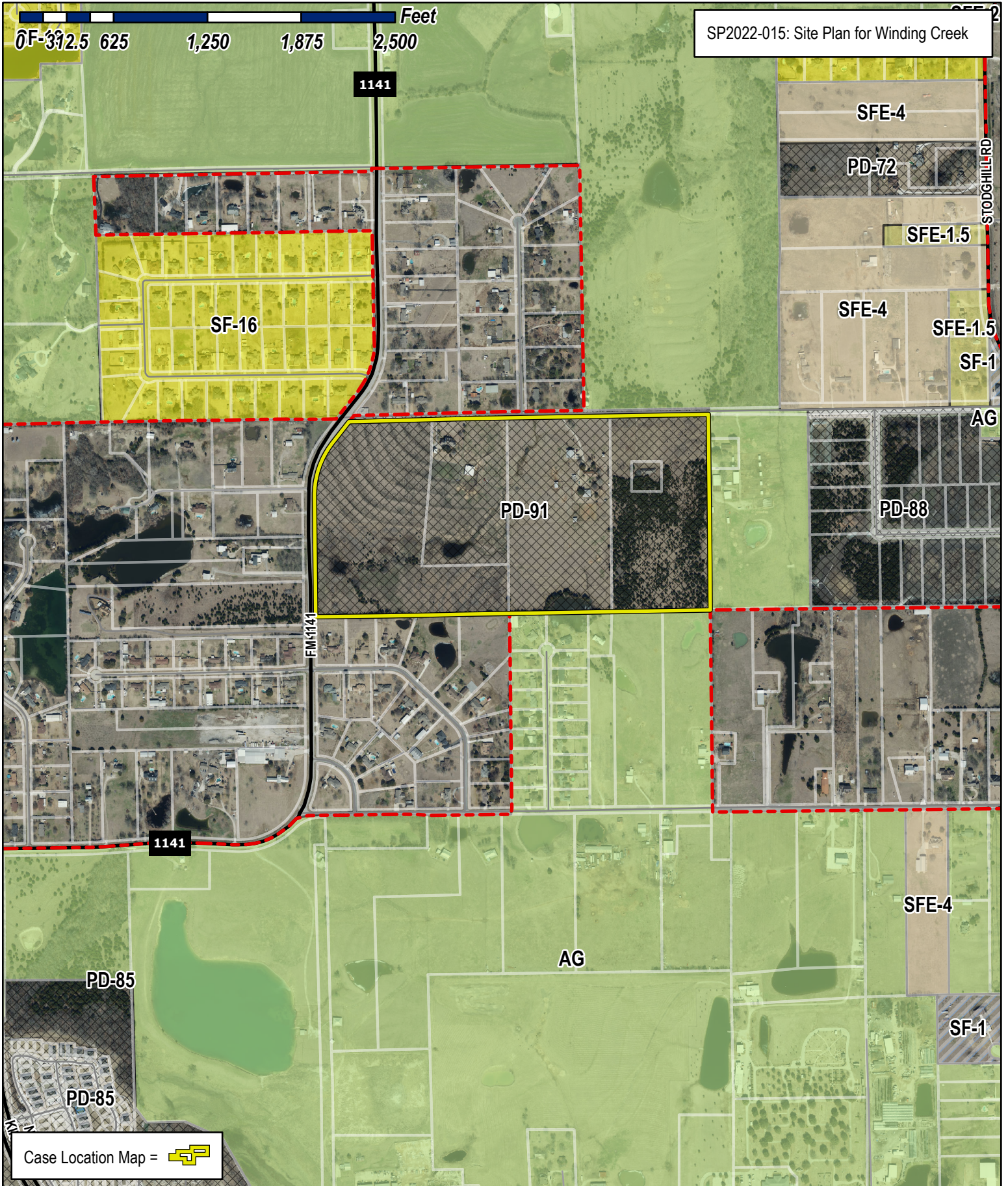
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF March, 20 22

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]
Genom Hebert



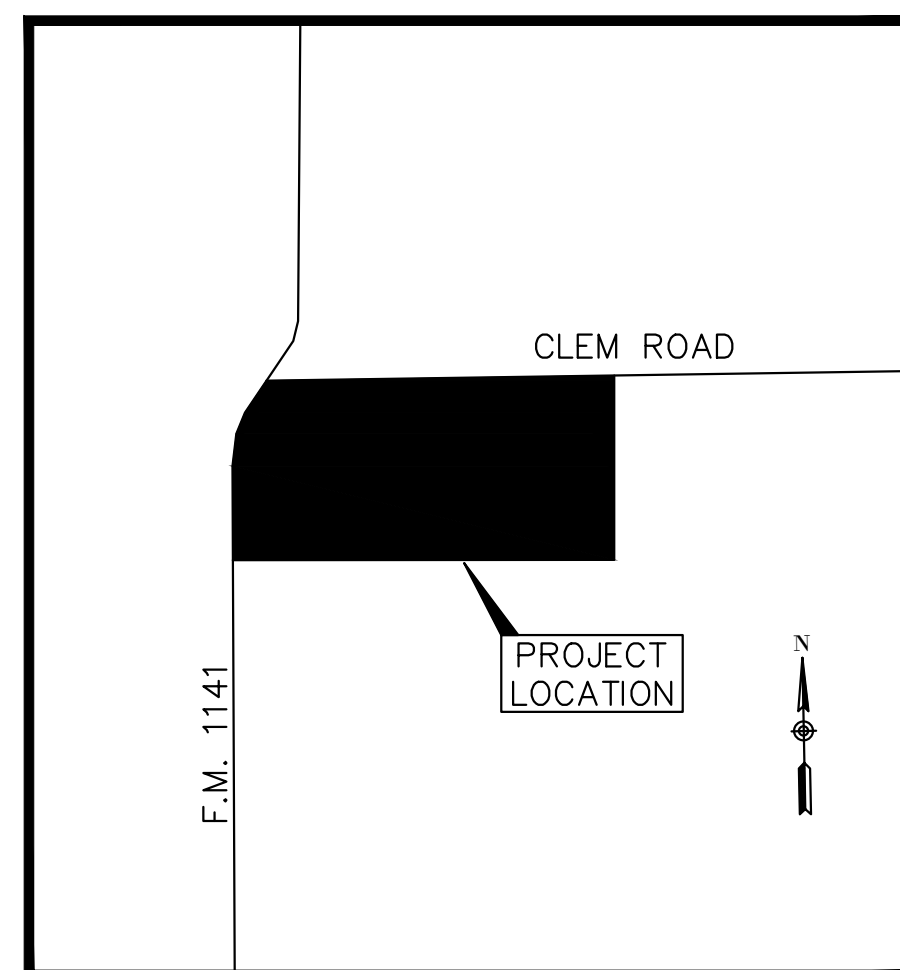
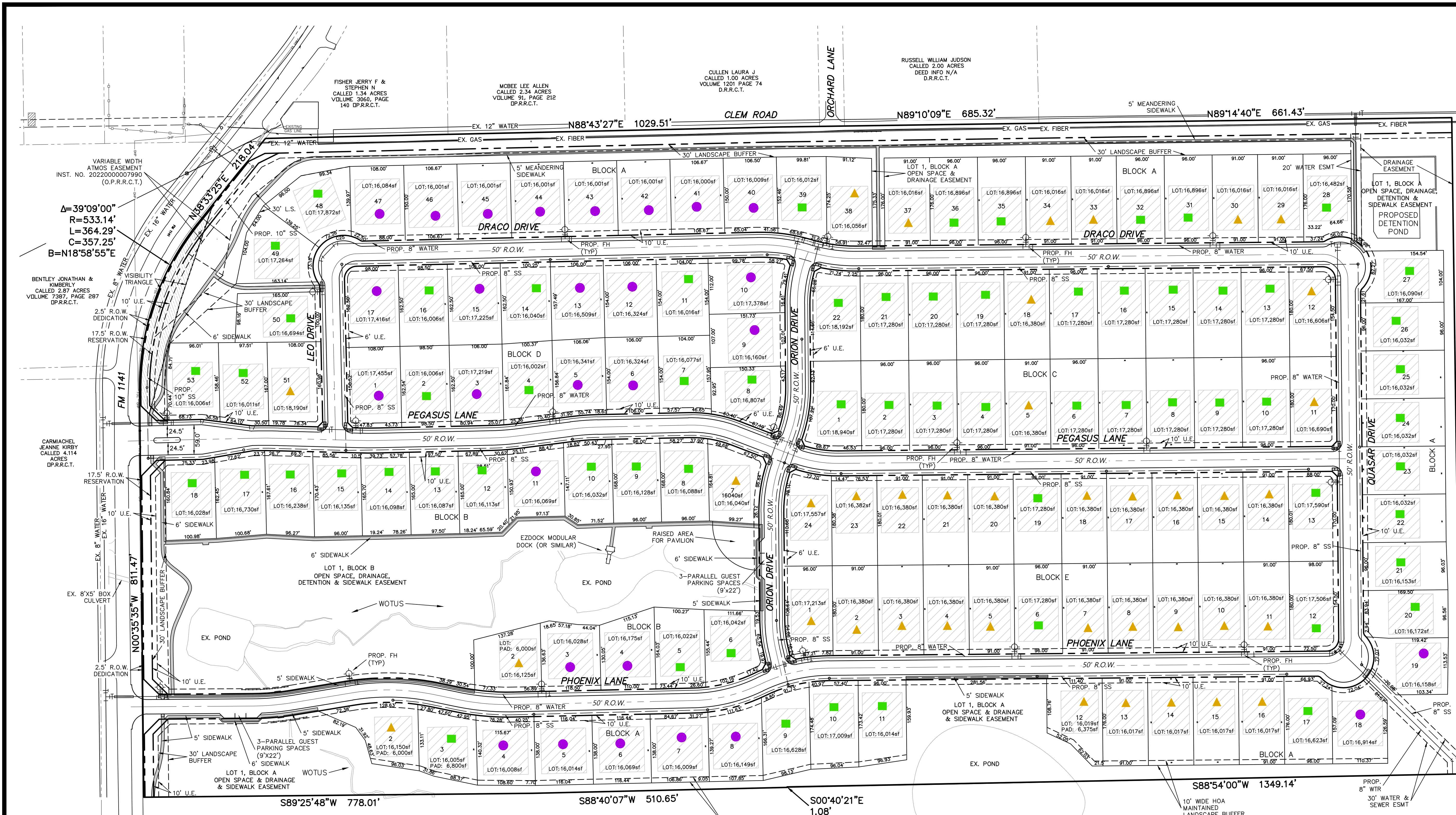


City of Rockwall

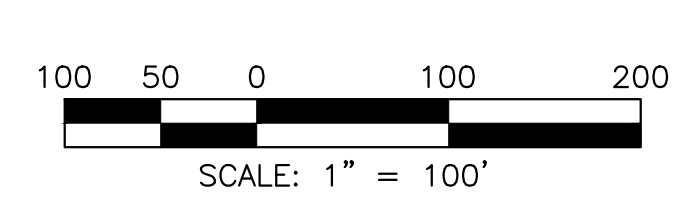
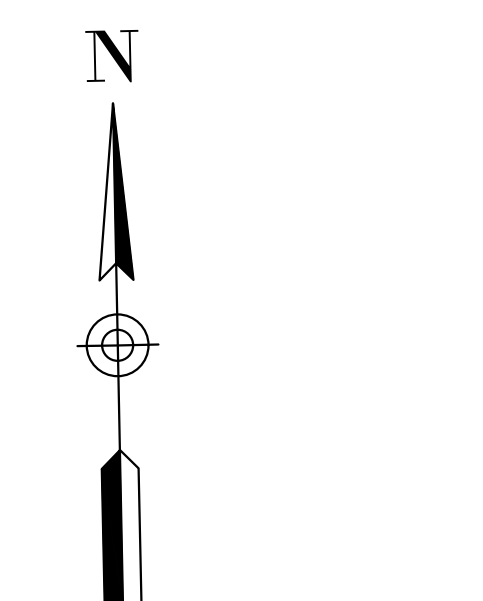
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





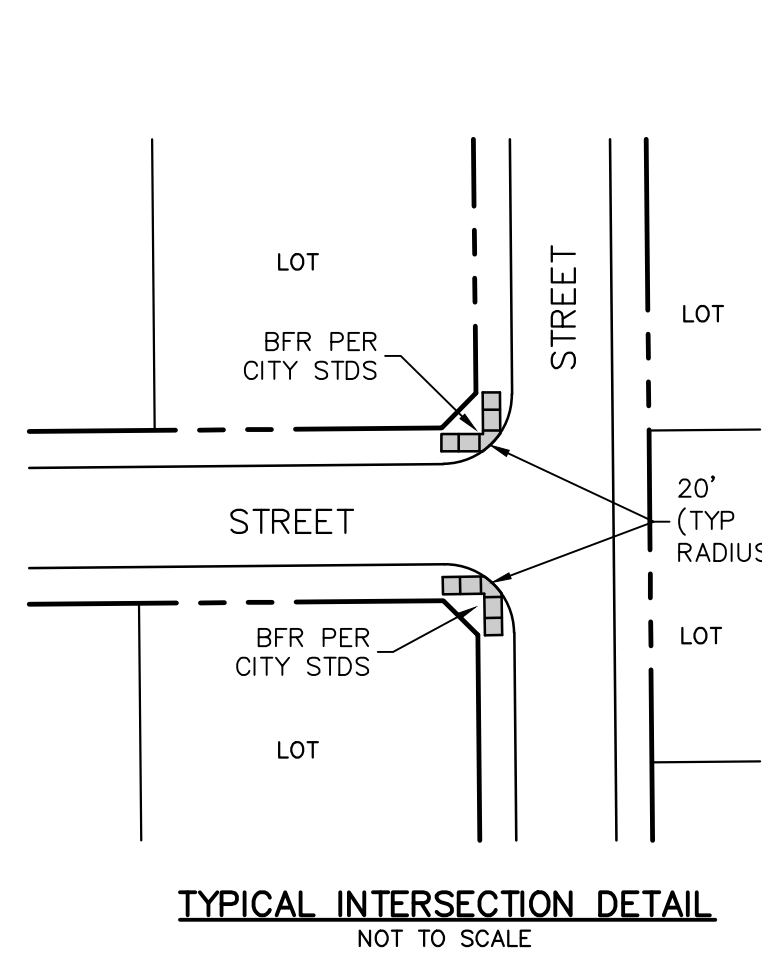
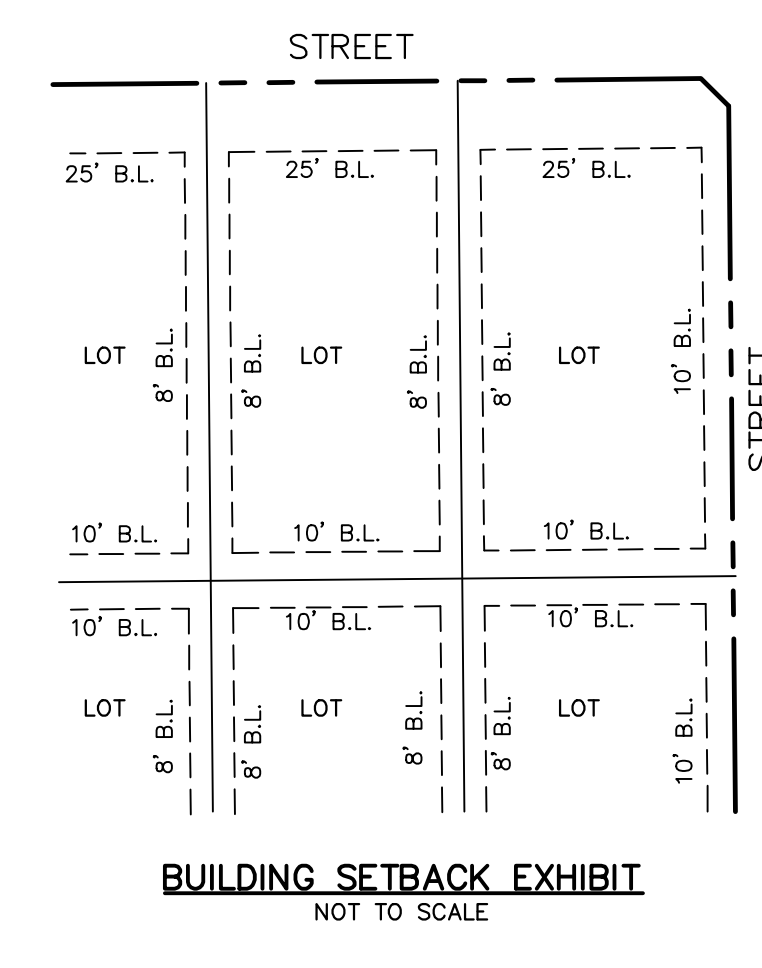
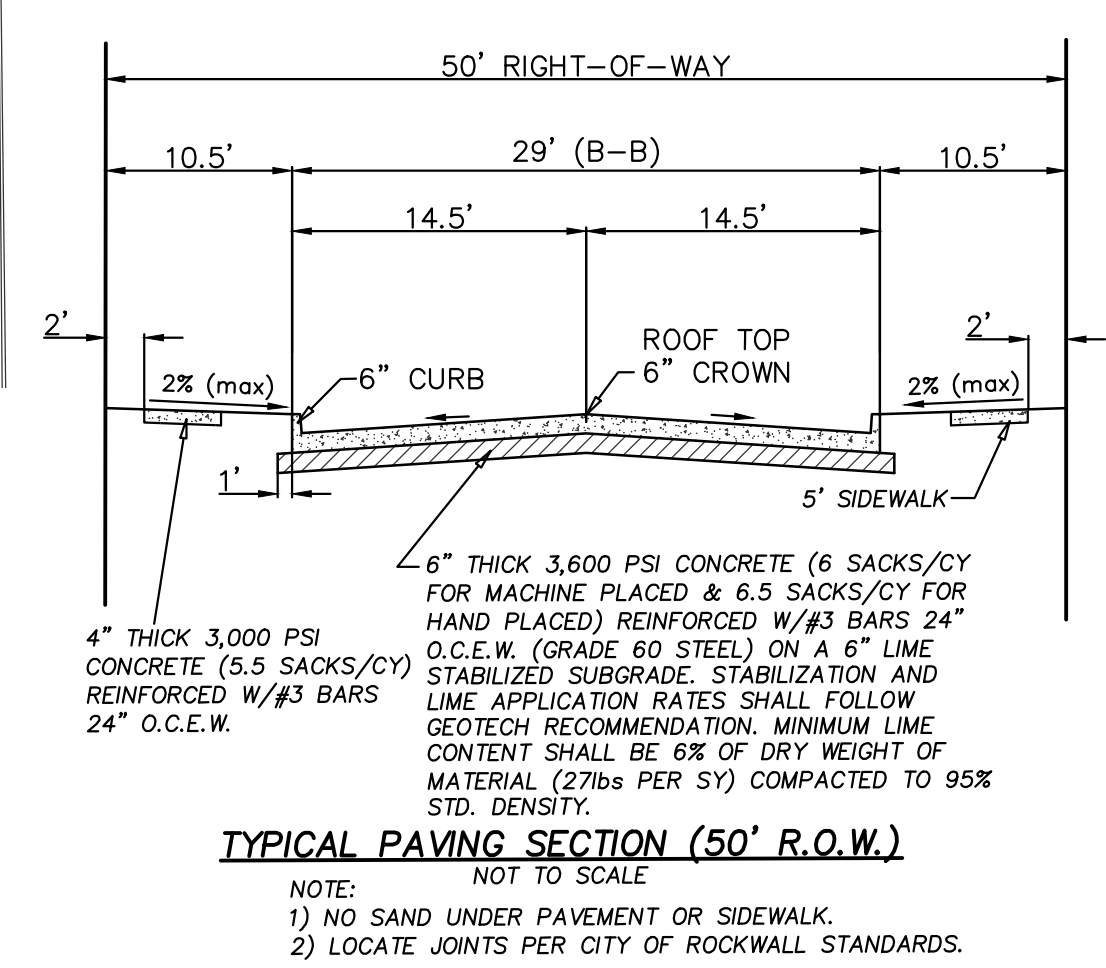
LOCATION MAP
N.T.S.



LEGEND

	WOTUS WATERS OF THE U.S.
	U.E. UTILITY EASEMENT
	90'x90' PAD (28 LOTS) *(8,100sf)
	80'x90' PAD (65 LOTS) *(7,200sf)
	75'x90' PAD (39 LOTS) *(6,750sf)

*TYPICAL SF INDICATED; INDICATED ON PLAN WHERE DIFFERENT.



SEE LANDSCAPE PLANS FOR PERIMETER SCREENING

PROPOSED LAND USE: RESIDENTIAL
TOTAL ACRES: 78.83
TOTAL OPEN SPACE: 16.14 (20.5%)
TOTAL RESIDENTIAL LOTS: 132
RESIDENTIAL DENSITY: 1.67

PARKING:
REQUIRED: 2-PER LOT (GARAGE)
PROVIDED: 2-PER LOT (GARAGE) 6-PARALLEL GUEST PARKING SPACES

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2022.

WITNESS OUR HANDS, this ____ day of _____, 2022.

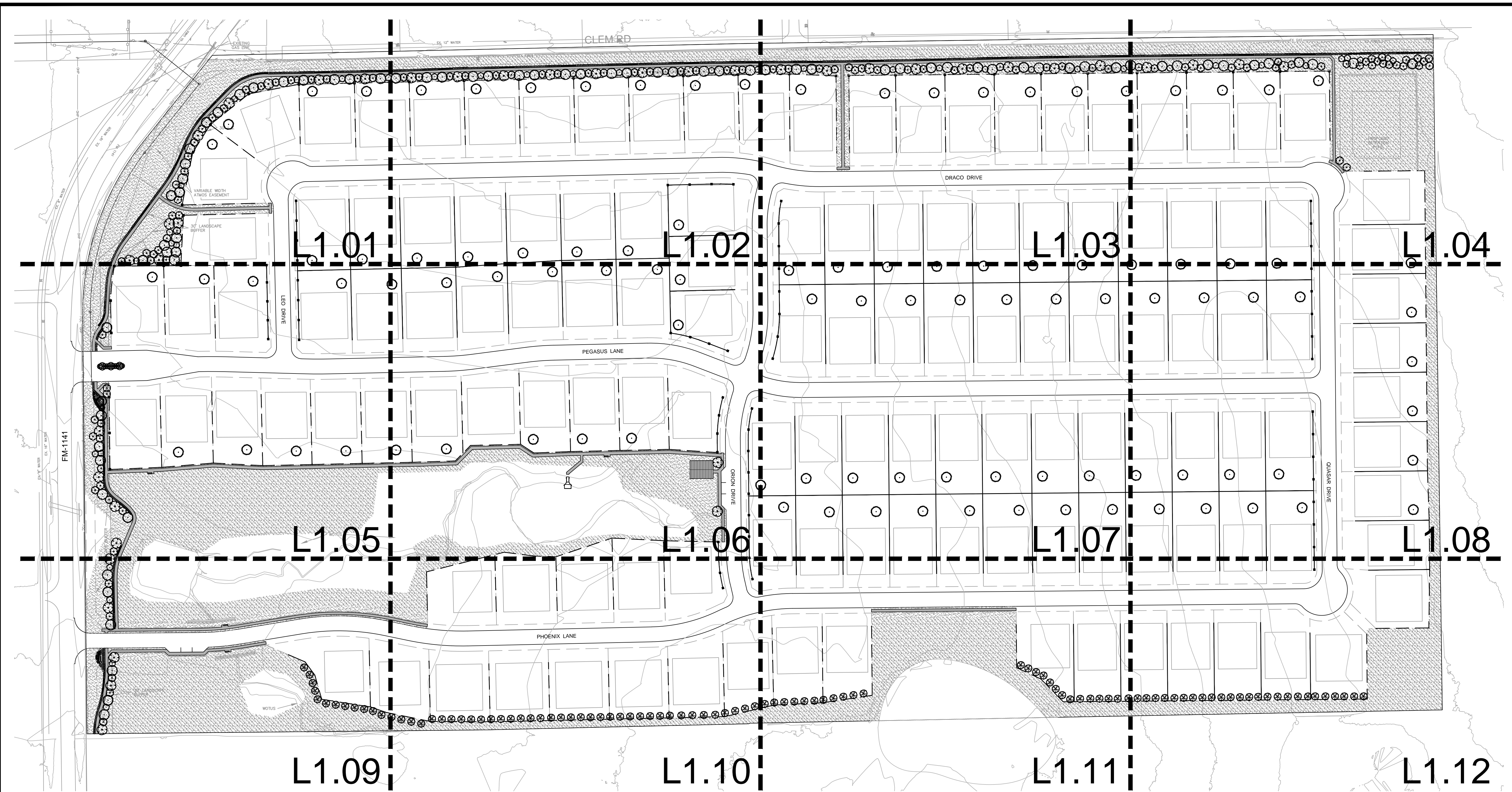
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SITE PLAN OF
WINDING CREEK
SITUATED IN THE
WILLIAM DALTON SURVEY,
ABSTRACT NO. 72
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
MACATEE ENGINEERING, LLC
12655 N. CENTRAL EXPRESSWAY, SUITE 420
DALLAS, TEXAS 75243
214-373-1180
OWNER/DEVELOPER
FALCON PLACE SF LTD.
8214 WESTCHESTER DRIVE
DALLAS, TEXAS 75225

MAY 2022
SCALE: 1"=100'
CASE NO. SP2022-015

File: B:\Clients\090 (Storburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L- 2.0 Landscape Plan.dwg || Date Plotted: 5/6/2022 11:26 AM || Plotted By: mwilson



PLANT SCHEDULE

CANOPY TREES	BOTANICAL / COMMON NAME	SHRUBS	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR		ABELIA X ROSE CREEK / ROSE CREEK ABELIA
	QUERCUS MACROCARPA / BURR OAK		LANTANA X 'NEW GOLD' / NEW GOLD LANTANA
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK		LEUCOPHYLLUM FRUTESCENS 'COMPACTA' / COMPACT TEXAS RANGER
	ULMUS CRASSIFOLIA / CEDAR ELM		MUHLENBERGIA CAPILLARIS 'LENCA' TM / REGAL MIST PINK MUHLY GRASS
	QUERCUS MUEHLENBERGII / CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)		ROSMARINUS OFFICINALIS / ROSEMARY
			BERBERIS THUNBERGII 'ROSE GLOW' / 'ROSE GLOW' BARBERRY
			BERBERIS THUNBERGII 'CRIMSON PYGMY' / 'CRIMSON PYGMY' BARBERRY
ORNAMENTAL TREES	BOTANICAL / COMMON NAME		
	CHILOPSIS LINEARIS / DESERT WILLOW		
	ILEX VOMITORIA / YAUPON HOLLY		
	SOPHORA AFFINIS / EVE'S NECKLACE		

PD CALCULATIONS		
	REQUIRED	PROVIDED
FM-1141		
3 CANOPY TREES AND 4 ACCENT TREES PER 100 LINEAR FEET (1,252')	38 CANOPY TREES AND 51 ACCENT TREES	38 CANOPY TREES AND 51 ACCENT TREES
CLEM ROAD		
3 CANOPY TREES AND 4 ACCENT TREES PER 100 LINEAR FEET (2,392')	72 CANOPY TREES AND 96 ACCENT TREES	72 CANOPY TREES AND 96 ACCENT TREES
SOUTH PROPERTY LINE		
EASTERN RED CEDAR PLANTED 20' O.C. (1,913')	99 TREES	99 TREES

GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS (SEED)

TOTAL MITIGATION REQUIRED	1,120.0
TOTAL MITIGATION REQUIRED (OFF SITE SEWER)	128.0
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	152.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	288.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED ON RESIDENTIAL LOTS*	412.0
REMAINING MITIGATION REQUIRED	0.0

SITE DATA
 ACREAGE: 36.567
 LOT COUNT: 59
 (56 RESIDENTIAL, 3 OPEN SPACE)

OWNER / DEVELOPER
 FALCON PLACE SF, LTD.
 8214 WESTCHESTER DRIVE
 SUITE 710
 DALLAS, TX 75225
 PHONE: 214-522-4945
 CONTACT: JOHN ARNOLD

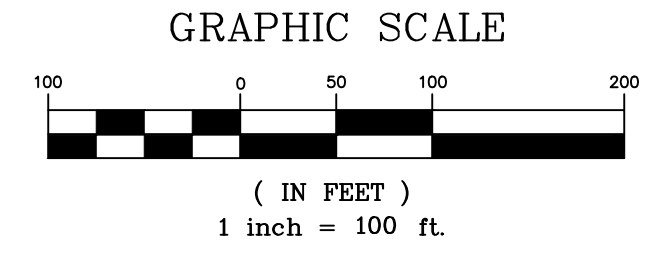
ZONING CASE:
 SP2022-015

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2022.

WITNESS OUR HANDS, this ____ day of _____, 2022.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



BANNISTER ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS

OVERALL LANDSCAPE PLAN

No.	Date	Revision	Description



SHEET NUMBER
L1.00

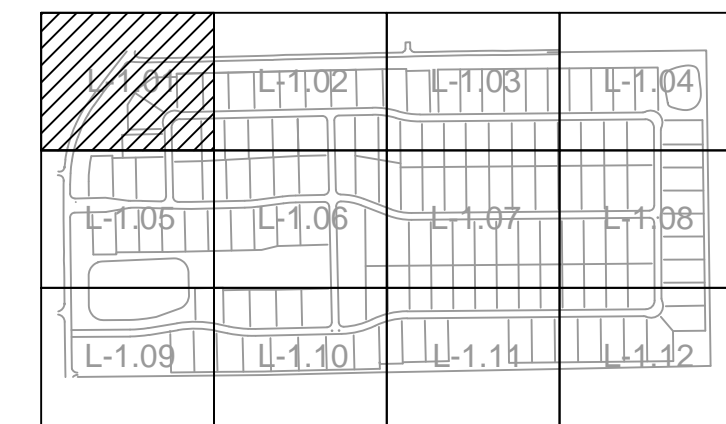
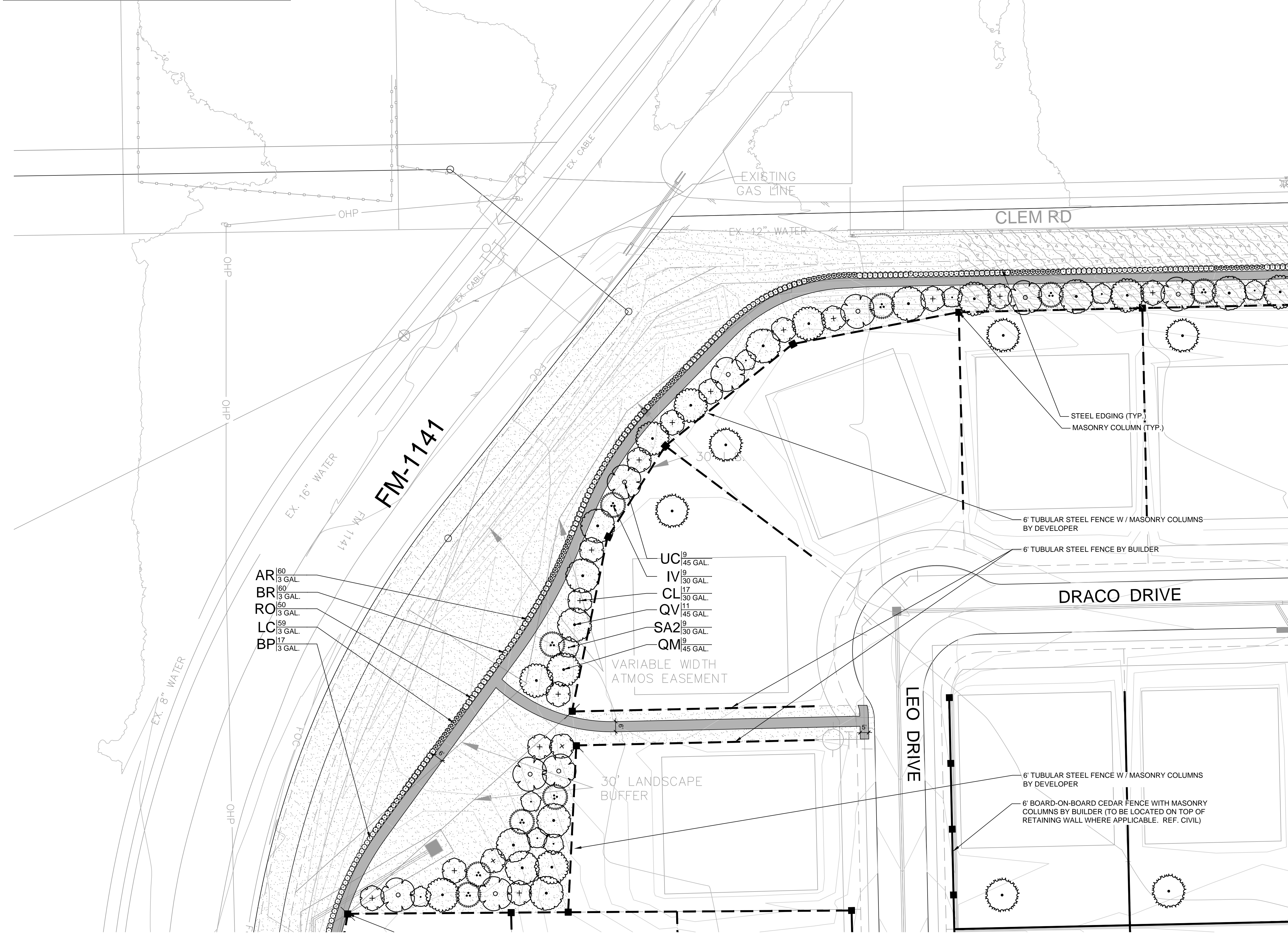
File: B:\Clients\090 (Storburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L- 2.0 Landscape Plan.dwg || Date Plotted: 5/9/2022 11:26 AM || Plotted By: mwilson

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.

WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

ZONING CASE:
SP2022-015



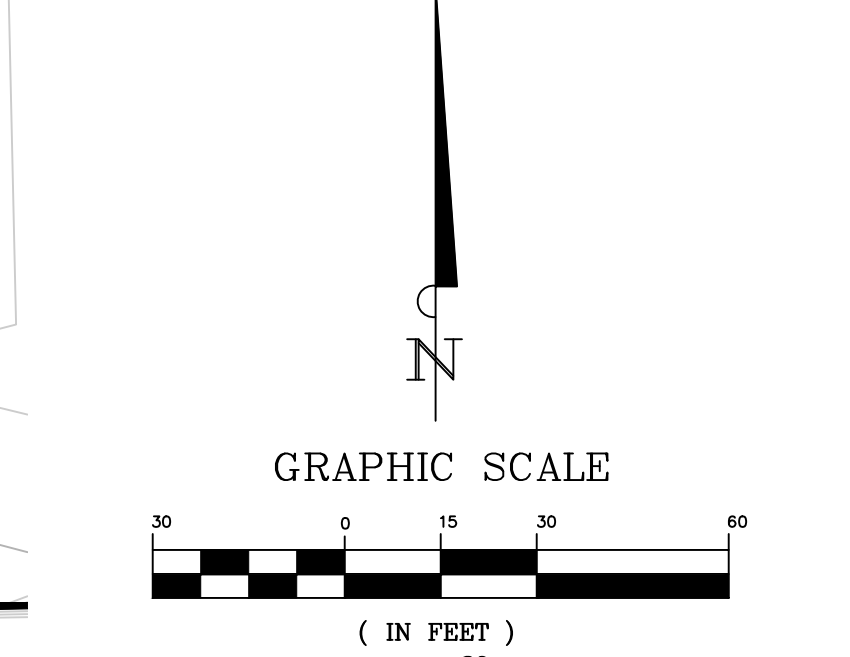
PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
	QUERCUS MUEHLENBERGII CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)
ORN. TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA
	ABELIA X 'ROSE CREEK' 'ROSE CREEK' ABELIA
	MUHLENBERGIA CAPILLARIS 'LENCA' REGAL MIST PINK MUHLY GRASS
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	BERBERIS THUNBERGII 'ROSE GLOW' 'ROSE GLOW' BARBERRY
	BERBERIS THUNBERGII 'CRIMSON PYGMY' 'CRIMSON PYGMY' BARBERRY

GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	TUBULAR STEEL FENCE
	TUBULAR STEEL FENCE W / MASONRY COLUMNS
	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



BANNISTER
ENGINEERING

240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description



SHEET NUMBER
L-1.01

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.

WITNESS OUR HANDS, this _____ day of _____, 2022.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

ZONING CASE:
 SP2022-015



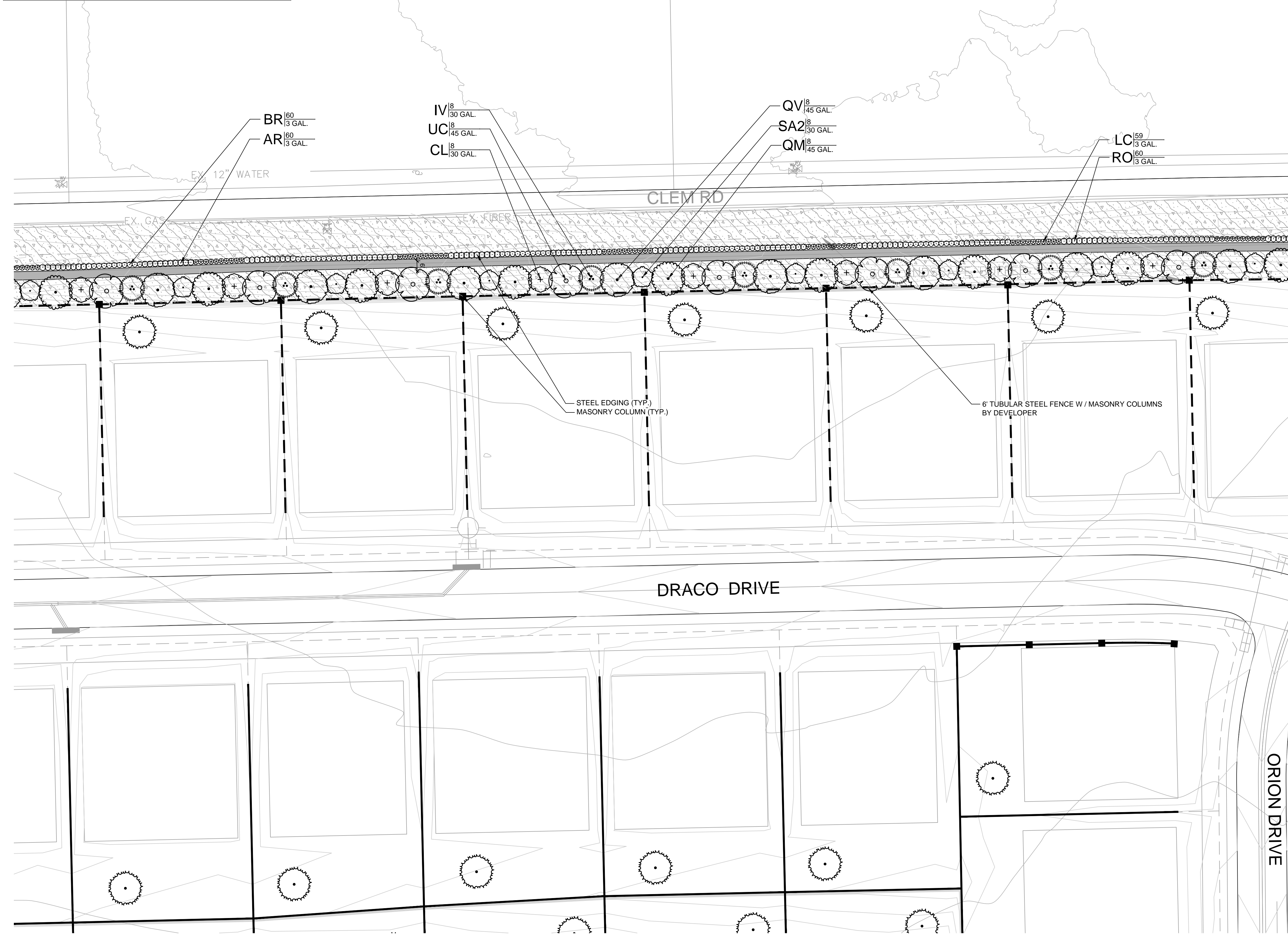
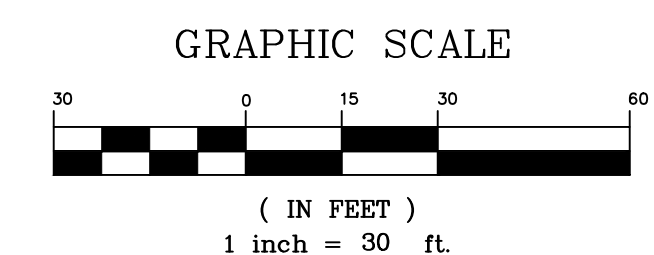
KEY

PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
	QUERCUS MUEHLENBERGII CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)
ORN. TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPOH HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA
	ABELIA X 'ROSE CREEK' 'ROSE CREEK' ABELIA
	MUHLENBERGIA CAPILLARIS 'LENCA' REGAL MIST PINK MUHLY GRASS
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	BERBERIS THUNBERGII 'ROSE GLOW' 'ROSE GLOW' BARBERRY
	BERBERIS THUNBERGII 'CRIMSON PYGM' 'CRIMSON PYGMY' BARBERRY

GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND	
	TUBULAR STEEL FENCE
	TUBULAR STEEL FENCE W / MASONRY COLUMNS
	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



BANNISTER
 ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.642.2094 | 817.642.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS

LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description



05/06/2022

SHEET NUMBER
L-1.02

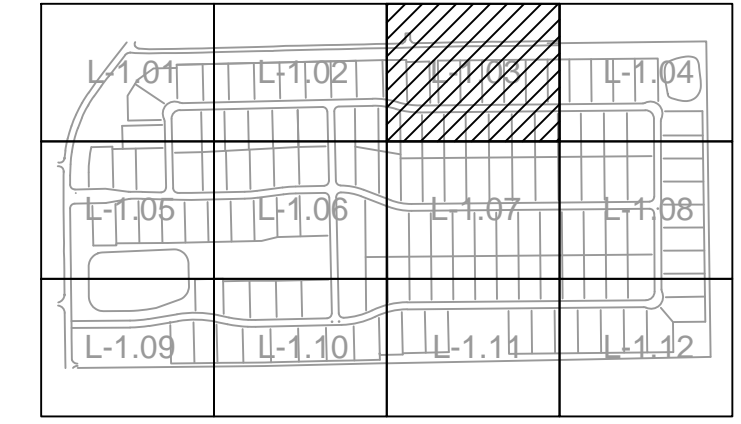
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APPROVED:
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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

ZONING CASE:
SP2022-015



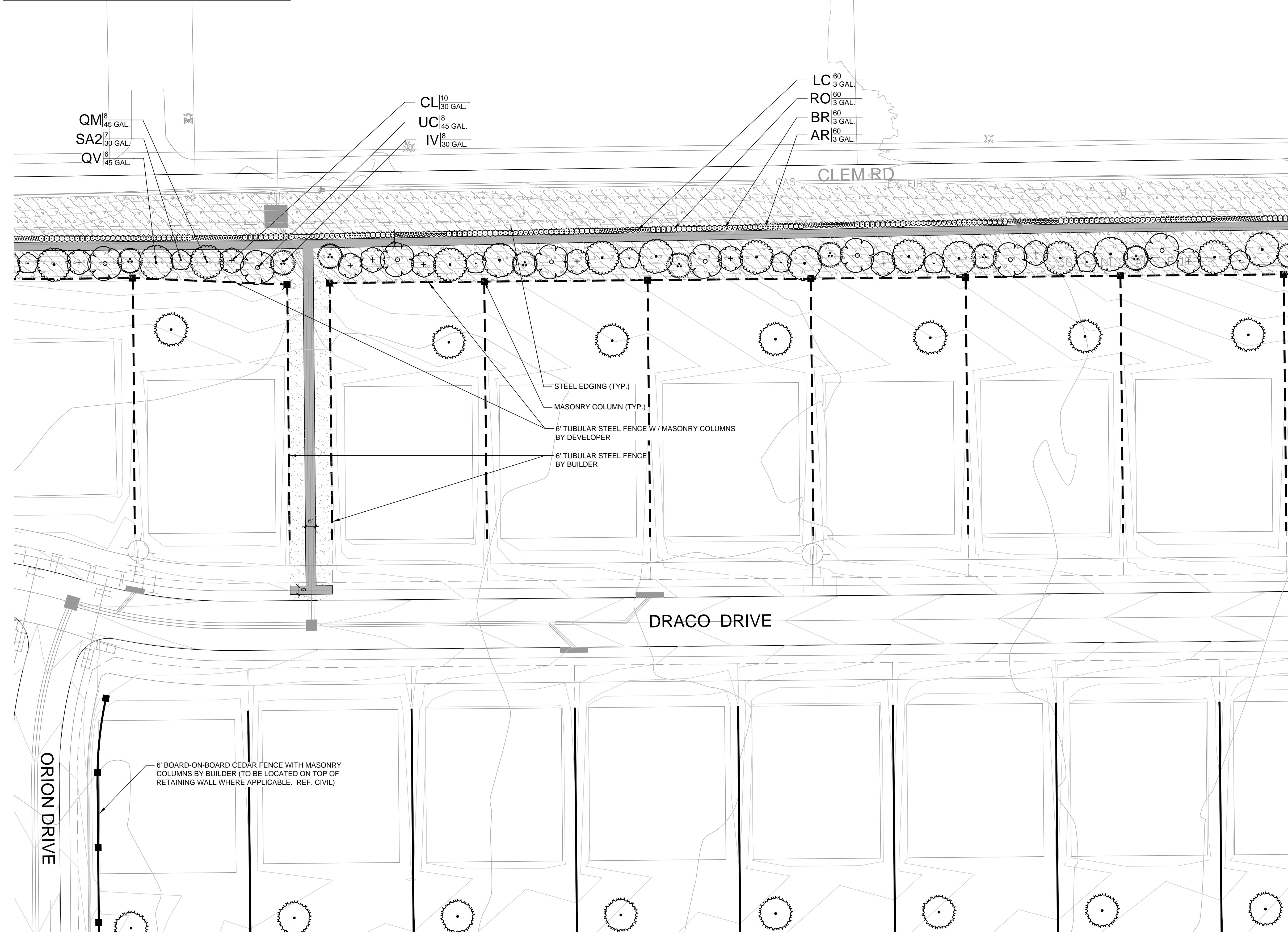
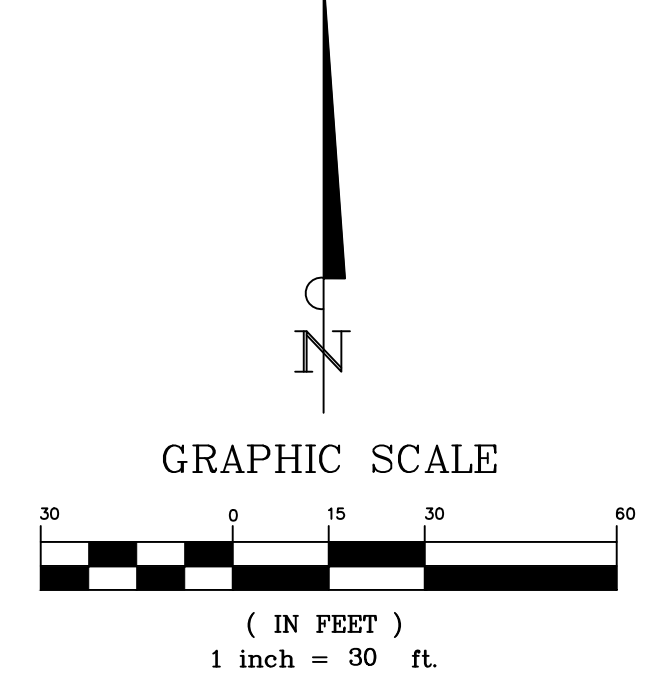
PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
	QUERCUS MUEHLENBERGII CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)
ORN. TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA
	ABELIA X 'ROSE CREEK' 'ROSE CREEK' ABELIA
	MUHLENBERGIA CAPILLARIS 'LENCA' REGAL MIST PINK MUHLY GRASS
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	BERBERIS THUNBERGII 'ROSE GLOW' 'ROSE GLOW' BARBERRY
	BERBERIS THUNBERGII 'CRIMSON PYGM' 'CRIMSON PYGMY' BARBERRY

GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	TUBULAR STEEL FENCE
	TUBULAR STEEL FENCE W / MASONRY COLUMNS
	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS

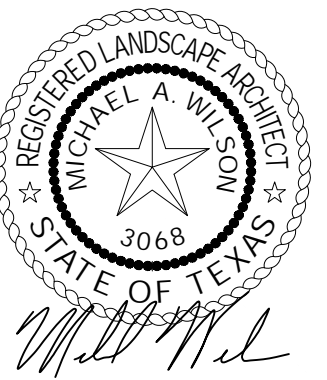


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ENGINEERING
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REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS
LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description



SHEET NUMBER
L-1.03

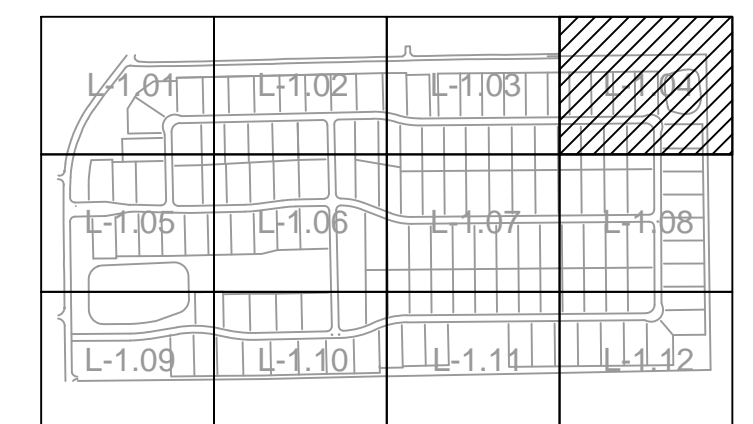
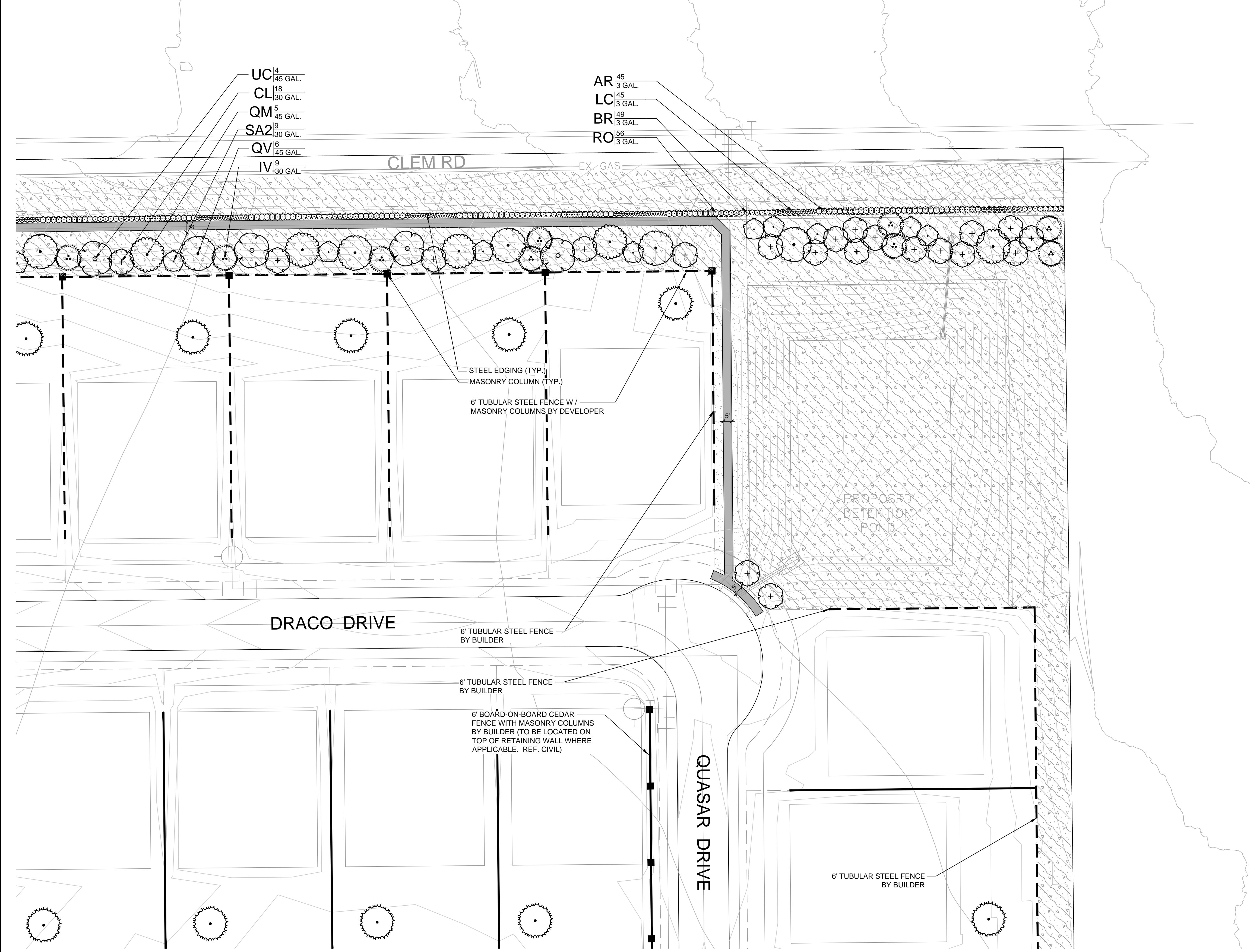
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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

ZONING CASE:
SP2022-015



PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
○	JUNIPERUS VIRGINIANA
○	EASTERN RED CEDAR
○	QUERCUS MACROCARPA
	BURR OAK
○	QUERCUS VIRGINIANA
	SOUTHERN LIVE OAK
○	ULMUS CRASSIFOLIA
	CEDAR ELM
○	QUERCUS MUEHLENBERGII
	CHINQUAPIN OAK
	OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)

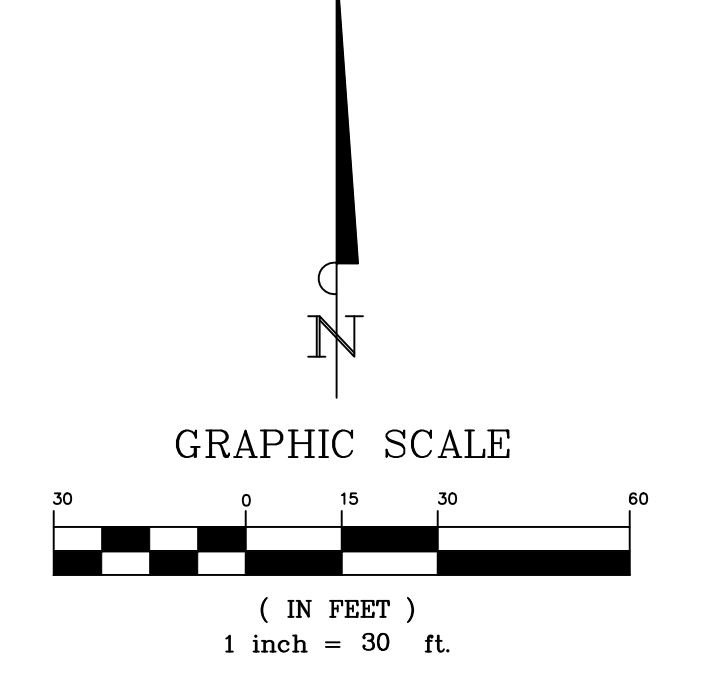
ORN. TREES	BOTANICAL / COMMON NAME
+	CHILOPSIS LINEARIS
	DESERT WILLOW
+	ILEX VOMITORIA
	YAUPON HOLLY
+	SOPHORA AFFINIS
	EVE'S NECKLACE

SHRUBS	BOTANICAL / COMMON NAME
○	LANTANA X 'NEW GOLD'
	NEW GOLD LANTANA
○	ABELIA X 'ROSE CREEK'
	'ROSE CREEK' ABELIA
○	MUHLENBERGIA CAPILLARIS 'LENCA'
	REGAL MIST PINK MUHLY GRASS
○	LEUCOPHYLLUM FRUTESCENS
	TEXAS RANGER
○	ROSMARINUS OFFICINALIS
	ROSEMARY
○	BERBERIS THUNBERGII 'ROSE GLOW'
	'ROSE GLOW' BARBERRY
○	BERBERIS THUNBERGII 'CRIMSON PYGM'
	'CRIMSON PYGMY' BARBERRY

GROUND COVERS	BOTANICAL / COMMON NAME
[Pattern]	CYNODON DACTYLON 'TIF 419'
	BERMUDA GRASS (SOD)
[Pattern]	CYNODON DACTYLON 'TIF 419'
	BERMUDA GRASS (SEED)

FENCING LEGEND

- TUBULAR STEEL FENCE
- - - TUBULAR STEEL FENCE W / MASONRY COLUMNS
- BOARD-ON-BOARD CEDAR FENCE
- - - BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



BANNISTER
ENGINEERING

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REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-1.04

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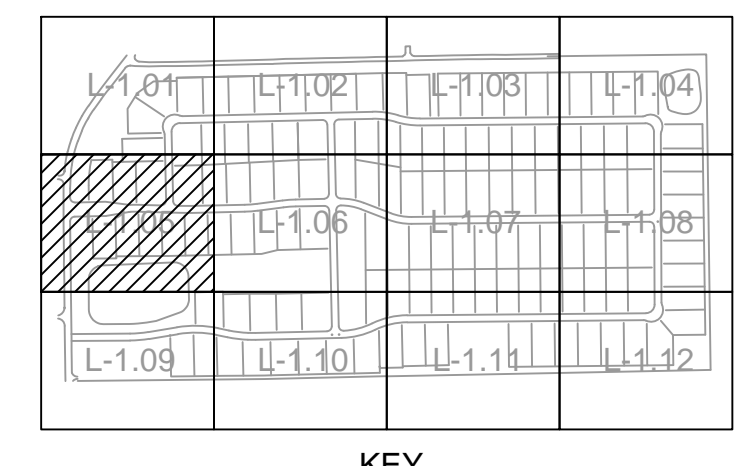
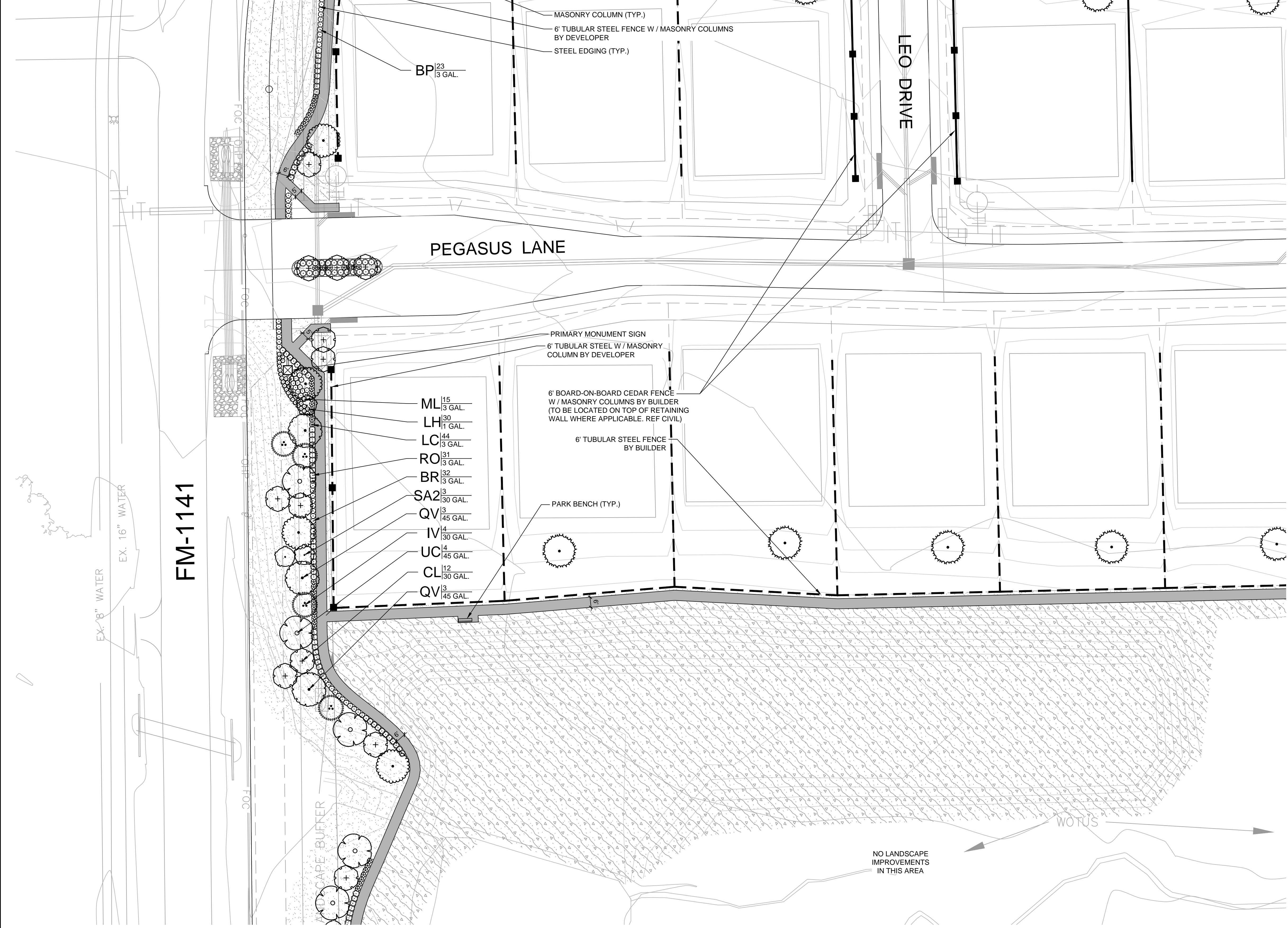
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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ZONING CASE:
SP2022-015

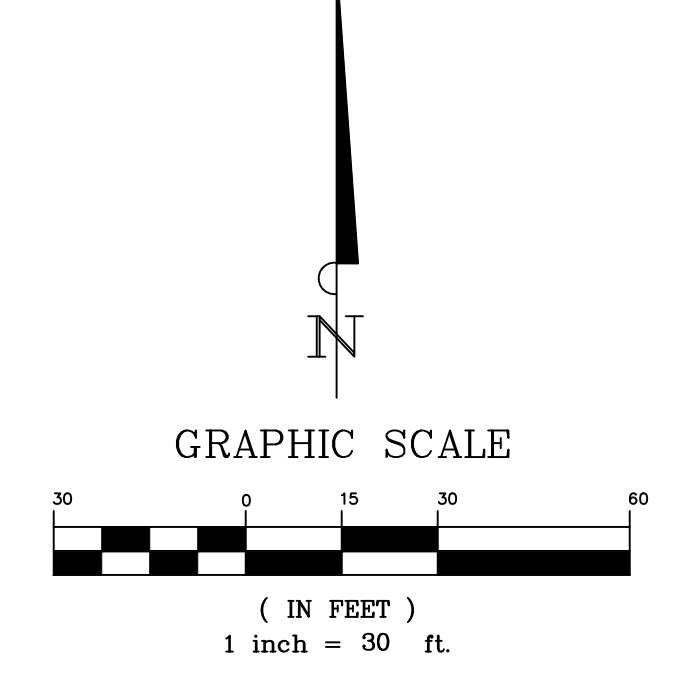


PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
	QUERCUS MUEHLENBERGII CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)
ORN. TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA
	ABELIA X 'ROSE CREEK' 'ROSE CREEK' ABELIA
	MUHLENBERGIA CAPILLARIS 'LENCA' REGAL MIST PINK MUHLY GRASS
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	BERBERIS THUNBERGII 'ROSE GLOW' 'ROSE GLOW' BARBERRY
	BERBERIS THUNBERGII 'CRIMSON PYGM' 'CRIMSON PYGMY' BARBERRY
GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	TUBULAR STEEL FENCE
	TUBULAR STEEL FENCE W / MASONRY COLUMNS
	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



BANNISTER
ENGINEERING

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REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

LANDSCAPE ENLARGEMENT

No.	Date	Revision Description

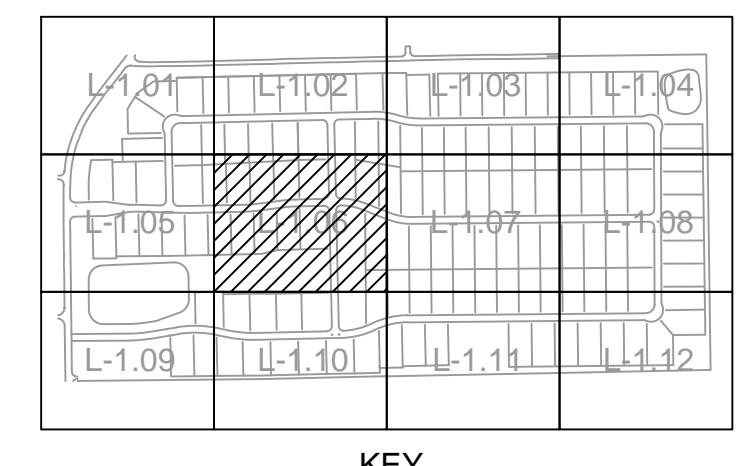
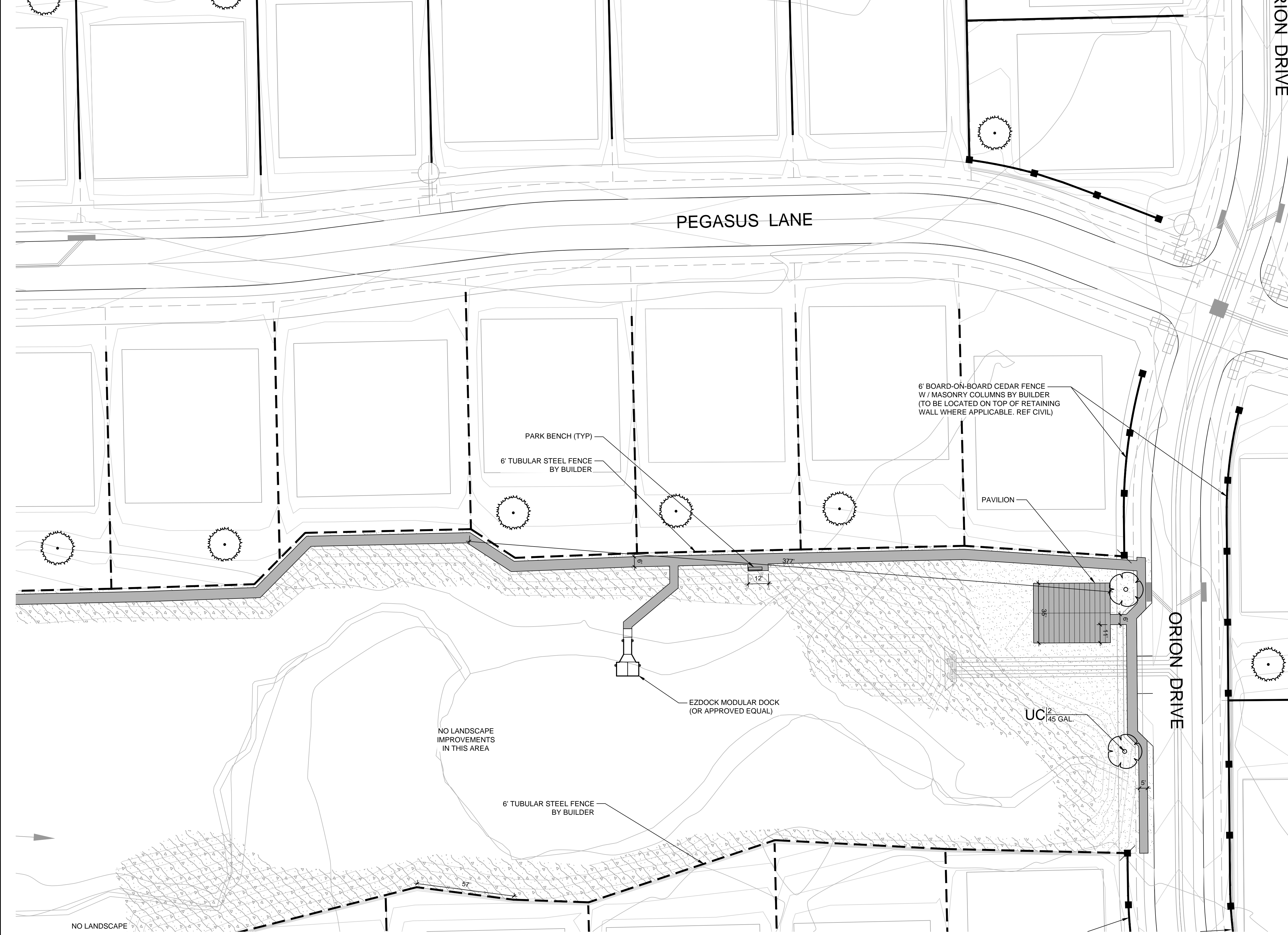
05/06/2022

SHEET NUMBER

L-1.05

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 Planning & Zoning Commission, Chairman Director of Planning and Zoning
 ZONING CASE:
 SP2022-015



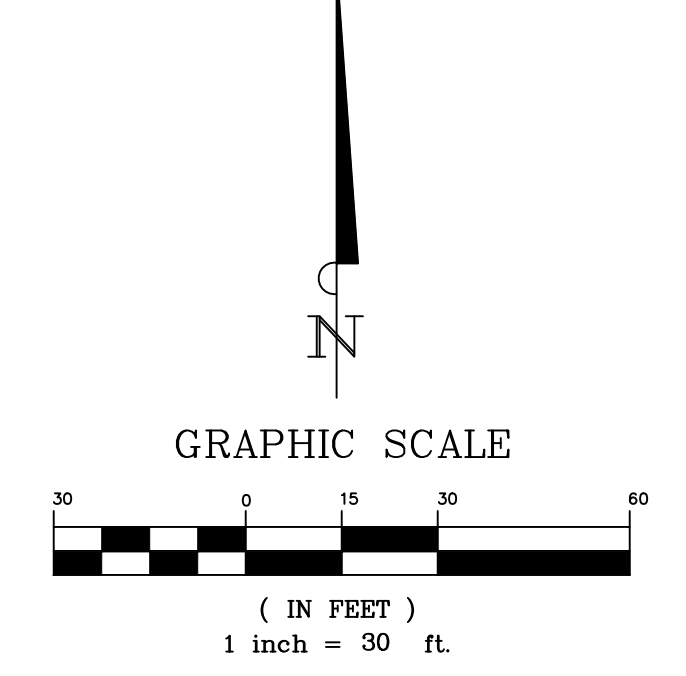
PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
	QUERCUS MUEHLENBERGII CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)
ORN. TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA
	ABELIA X 'ROSE CREEK' ROSE CREEK ABELIA
	MUHLENBERGIA CAPILLARIS 'LENCA' REGAL MIST PINK MUHLY GRASS
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	BERBERIS THUNBERGII 'ROSE GLOW' ROSE GLOW BARBERRY
	BERBERIS THUNBERGII 'CRIMSON PYGM' CRIMSON PYGMY BARBERRY

GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	TUBULAR STEEL FENCE
	TUBULAR STEEL FENCE W / MASONRY COLUMNS
	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



BANNISTER
 ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.642.2094 | 817.642.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS
 LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-1.06

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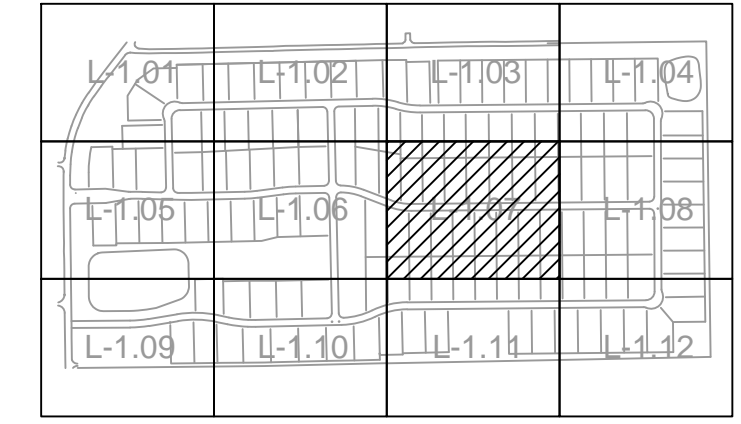
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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ZONING CASE:
SP2022-015



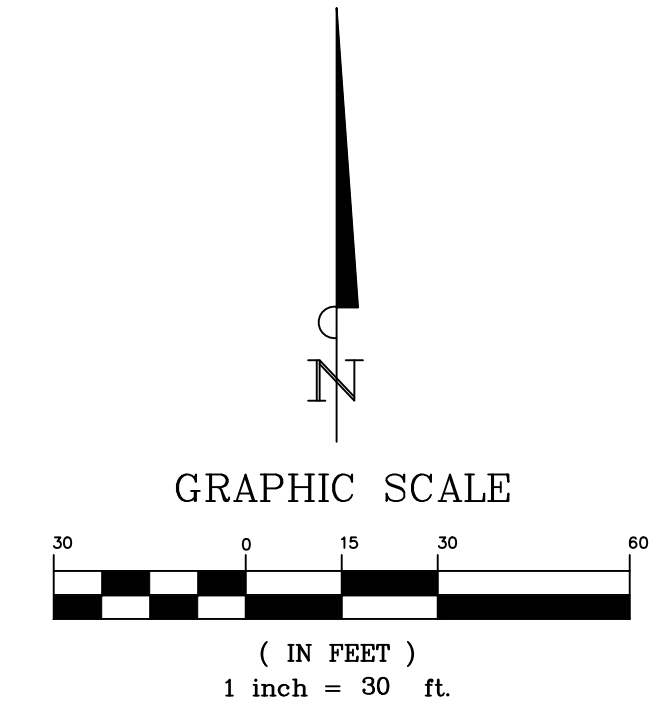
PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
	QUERCUS MUEHLENBERGII CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)
ORN. TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPOH HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA
	ABELIA X 'ROSE CREEK' ROSE CREEK ABELIA
	MUHLENBERGIA CAPILLARIS 'LENCA' REGAL MIST PINK MUHLY GRASS
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	BERBERIS THUNBERGII 'ROSE GLOW' ROSE GLOW BARBERRY
	BERBERIS THUNBERGII 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY

GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	TUBULAR STEEL FENCE
	TUBULAR STEEL FENCE W / MASONRY COLUMNS
	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



BANNISTER
ENGINEERING

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REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-1.07

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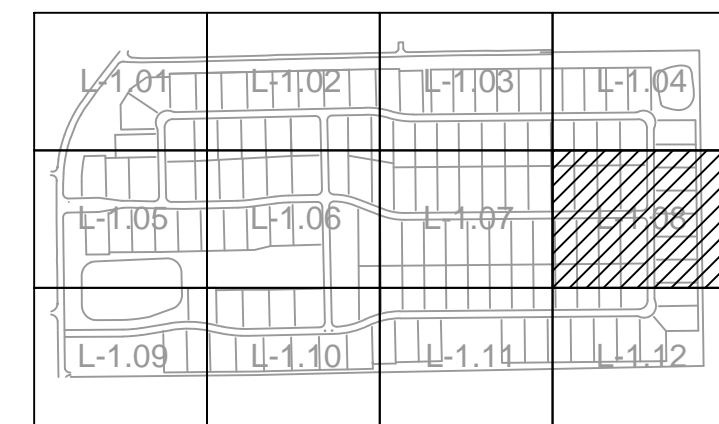
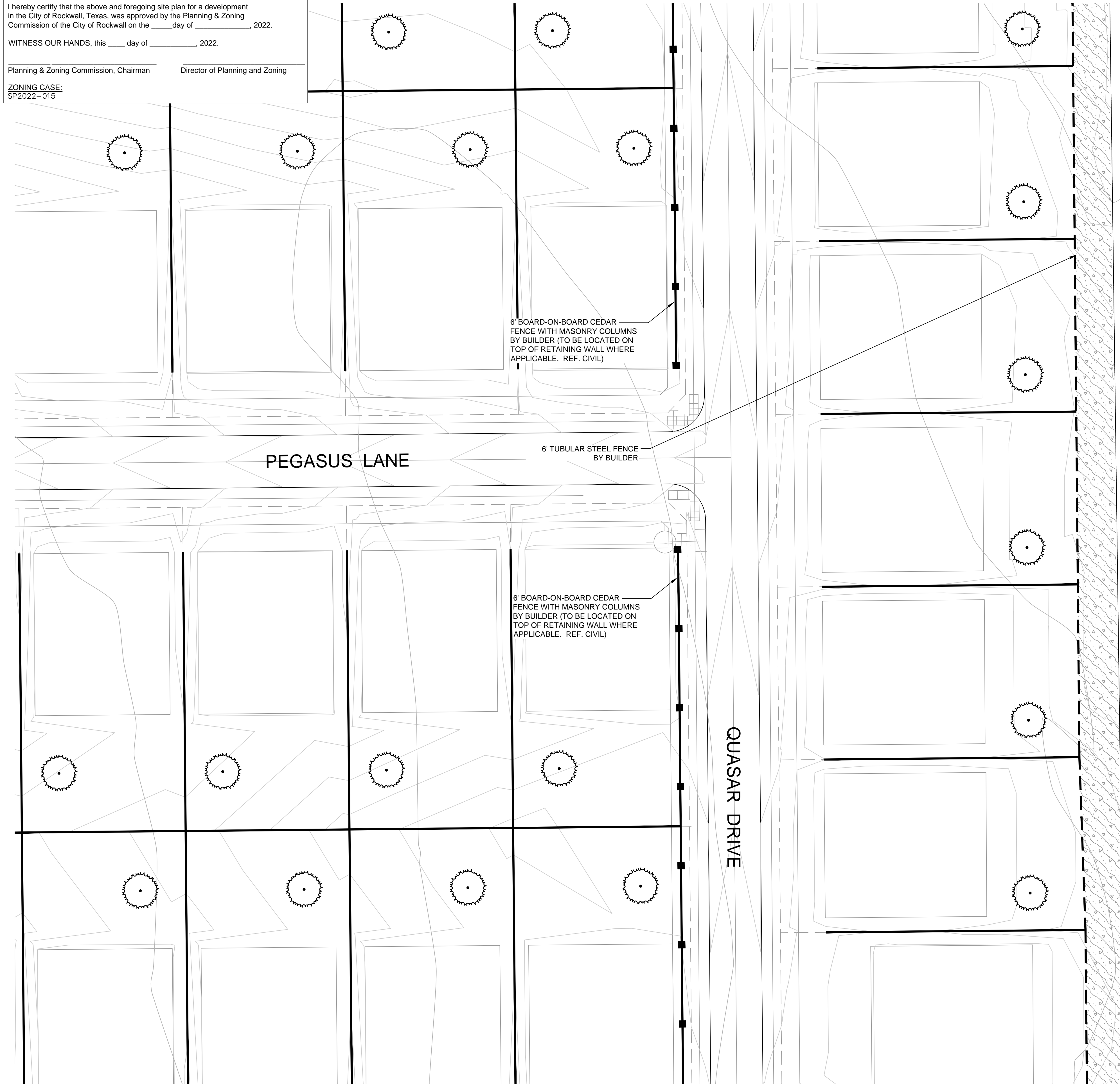
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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

ZONING CASE:
SP2022-015



KEY

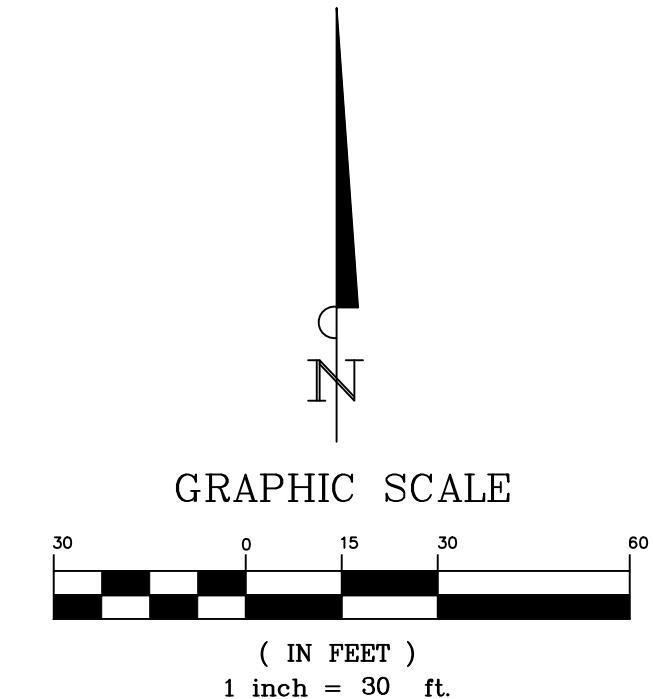
PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
	QUERCUS MUEHLENBERGII CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)
ORN. TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA
	ABELIA X 'ROSE CREEK' 'ROSE CREEK' ABELIA
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	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
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	BERBERIS THUNBERGII 'ROSE GLOW' 'ROSE GLOW' BARBERRY
	BERBERIS THUNBERGII 'CRIMSON PYGM' 'CRIMSON PYGM' BARBERRY

GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	TUBULAR STEEL FENCE
	TUBULAR STEEL FENCE W / MASONRY COLUMNS
	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



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 REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS

LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description

PROJECT NO.: TEMPLATE
 SHEET NUMBER
L-1.08
 05/06/2022

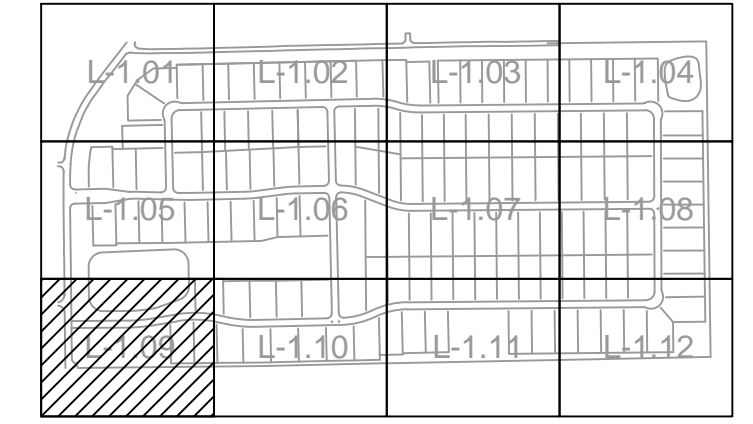
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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

ZONING CASE:
SP2022-015



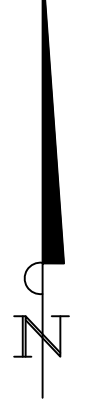
KEY

PLANT SCHEDULE

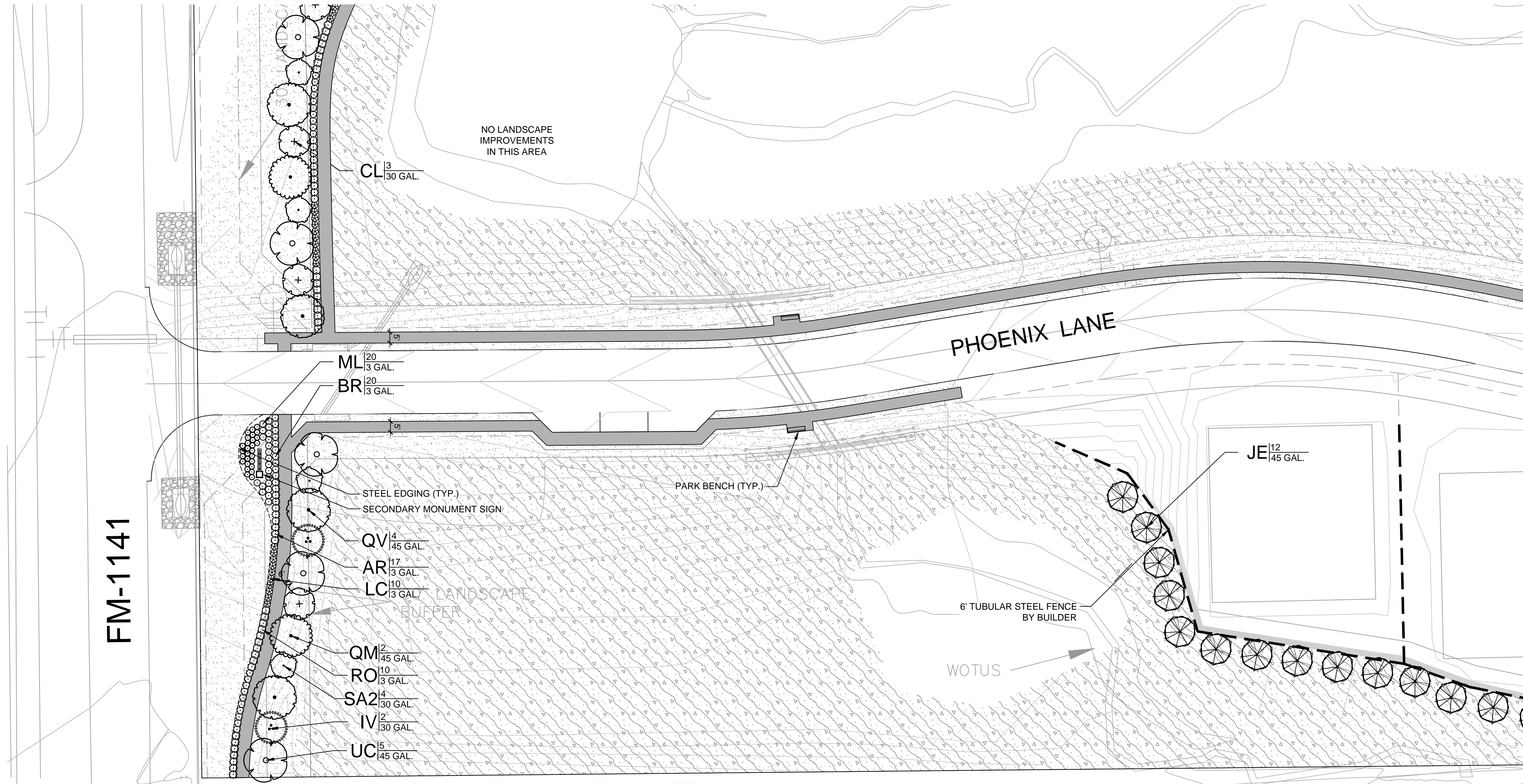
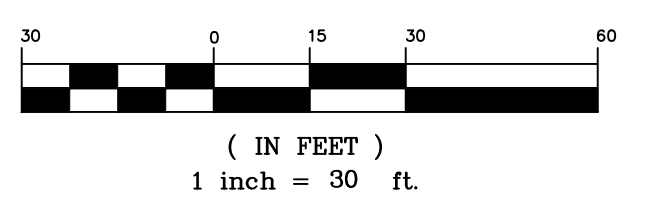
CAN. TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
	QUERCUS MUEHLENBERGII CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)
ORN. TREES	BOTANICAL / COMMON NAME
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	ILEX VOMITORIA YAUPON HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
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	ABELIA X 'ROSE CREEK' 'ROSE CREEK' ABELIA
	MUHLENBERGIA CAPILLARIS 'LENCA' REGAL MIST PINK MUHLY GRASS
	LEUCOPHYLLUM FRUTESCENS TEXAS RANGER
	ROSMARINUS OFFICINALIS ROSEMARY
	BERBERIS THUNBERGII 'ROSE GLOW' 'ROSE GLOW' BARBERRY
	BERBERIS THUNBERGII 'CRIMSON PYGM' 'CRIMSON PYGMY' BARBERRY
GROUND COVERS	BOTANICAL / COMMON NAME
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SOD)
	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	TUBULAR STEEL FENCE
	TUBULAR STEEL FENCE W / MASONRY COLUMNS
	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



GRAPHIC SCALE



BANNISTER
ENGINEERING

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REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description

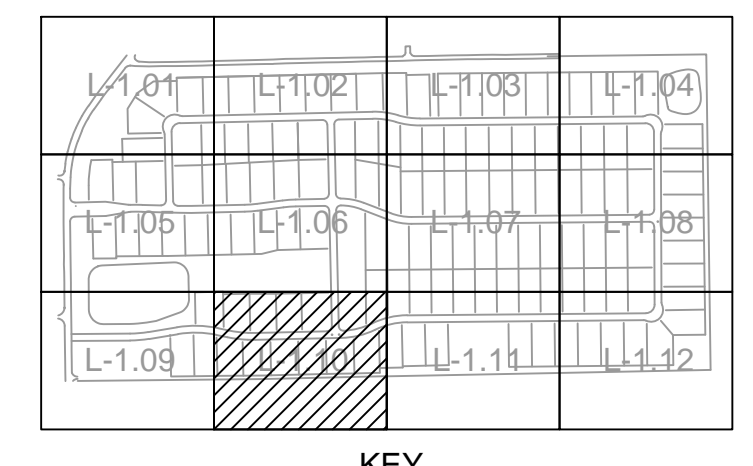
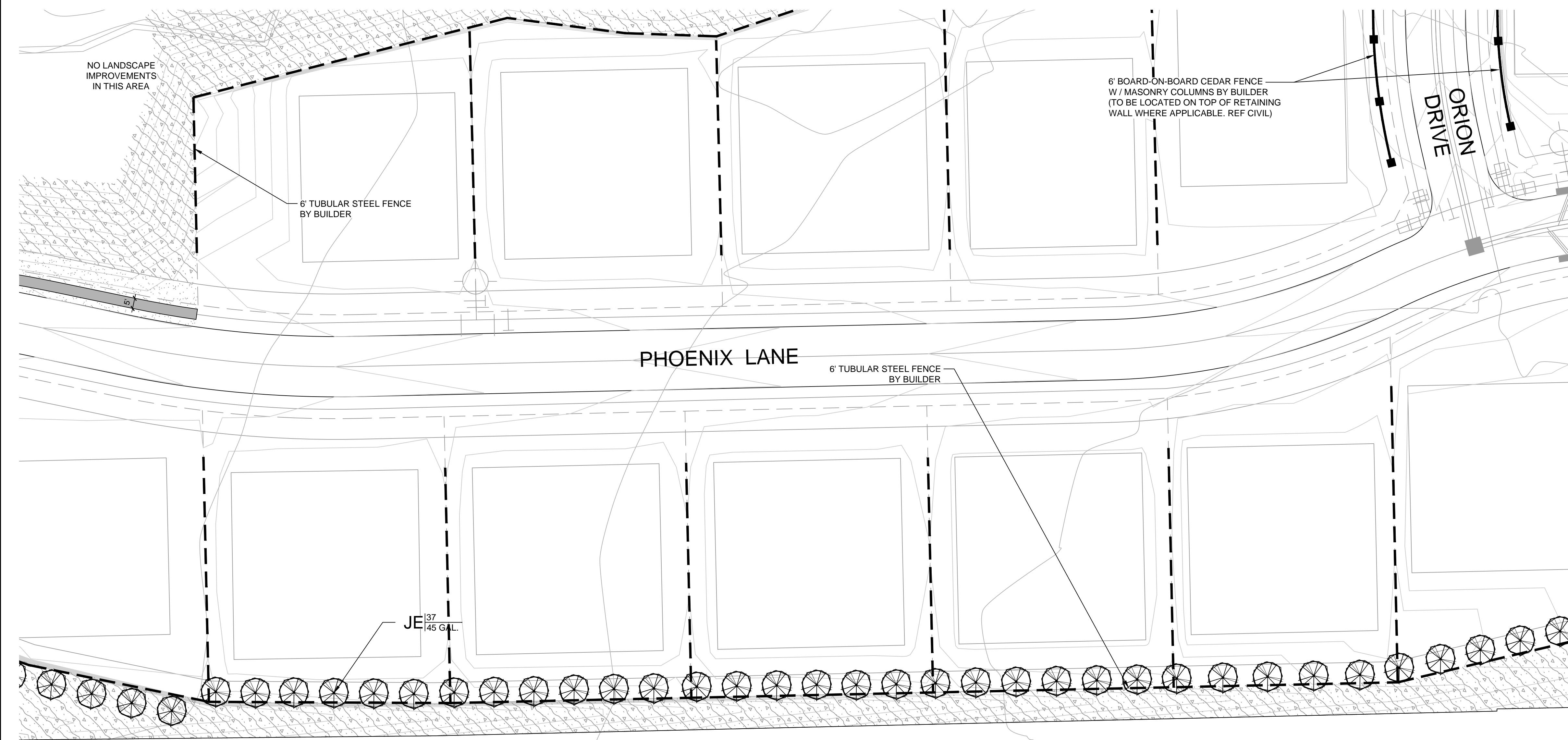


SHEET NUMBER
L-1.09

File: B:\Clients\090 (Skorburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L- 2.0 Landscape Plan.dwg || Date Plotted: 5/6/2022 11:26 AM || Plotted By: mwilson

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 WITNESS OUR HANDS, this _____ day of _____, 2022.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning
 ZONING CASE:
 SP2022-015



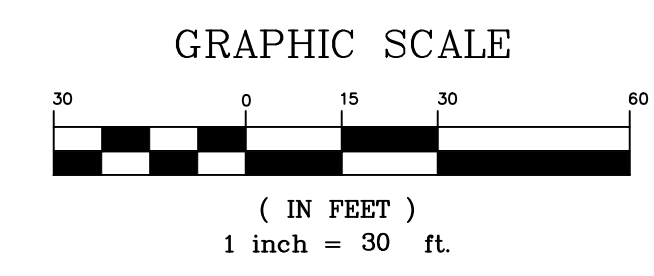
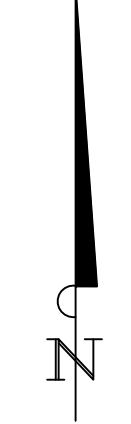
PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
	QUERCUS MACROCARPA BURR OAK
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	ULMUS CRASSIFOLIA CEDAR ELM
	QUERCUS MUEHLENBERGII CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)
ORN. TREES	BOTANICAL / COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
	ILEX VOMITORIA YAUPOH HOLLY
	SOPHORA AFFINIS EVE'S NECKLACE
SHRUBS	BOTANICAL / COMMON NAME
	LANTANA X 'NEW GOLD' NEW GOLD LANTANA
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GROUND COVERS	BOTANICAL / COMMON NAME
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	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

FENCING LEGEND

	TUBULAR STEEL FENCE
	TUBULAR STEEL FENCE W / MASONRY COLUMNS
	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



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No.	Date	Revision	Description



SHEET NUMBER
L-1.10

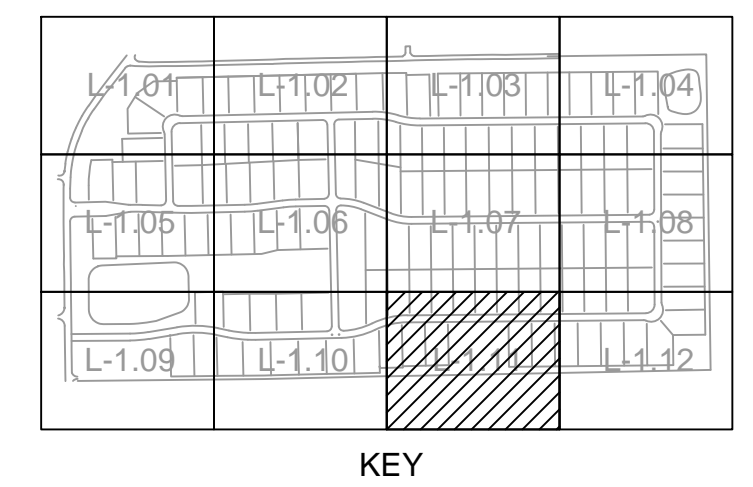
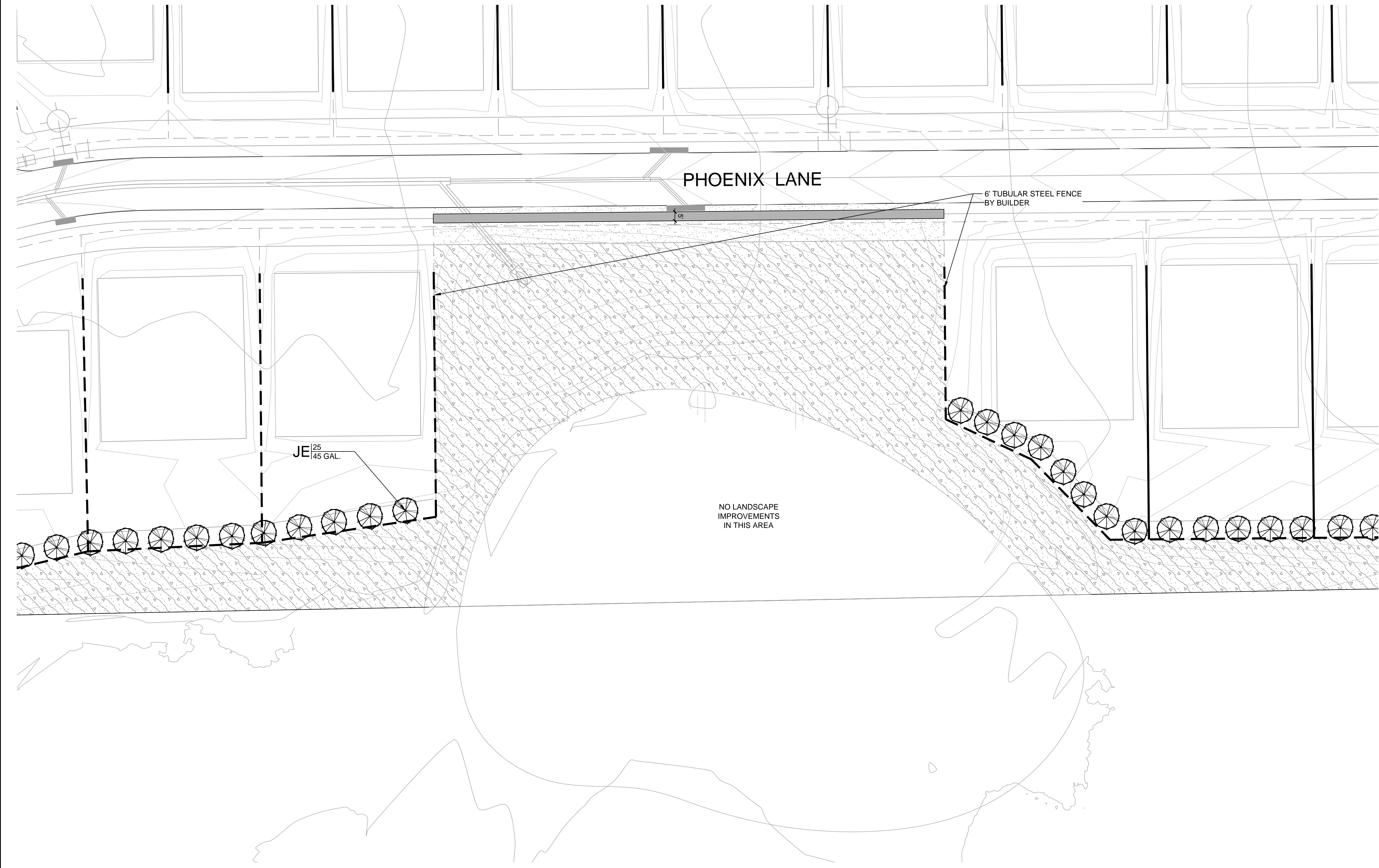
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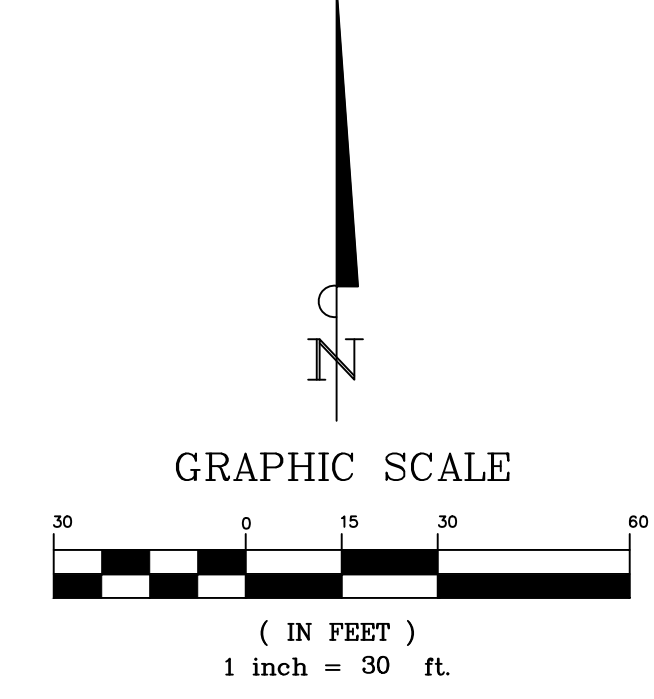


PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
	JUNIPERUS VIRGINIANA EASTERN RED CEDAR
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	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
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	TUBULAR STEEL FENCE
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	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



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Clem Development FM 1141/Clem Rd
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LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-1.11

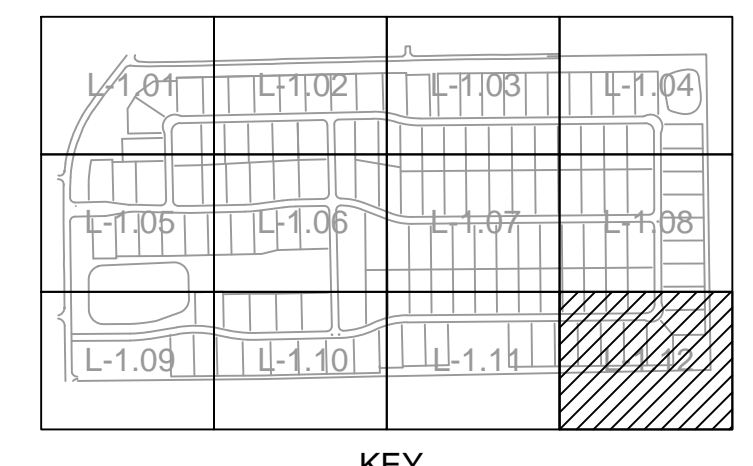
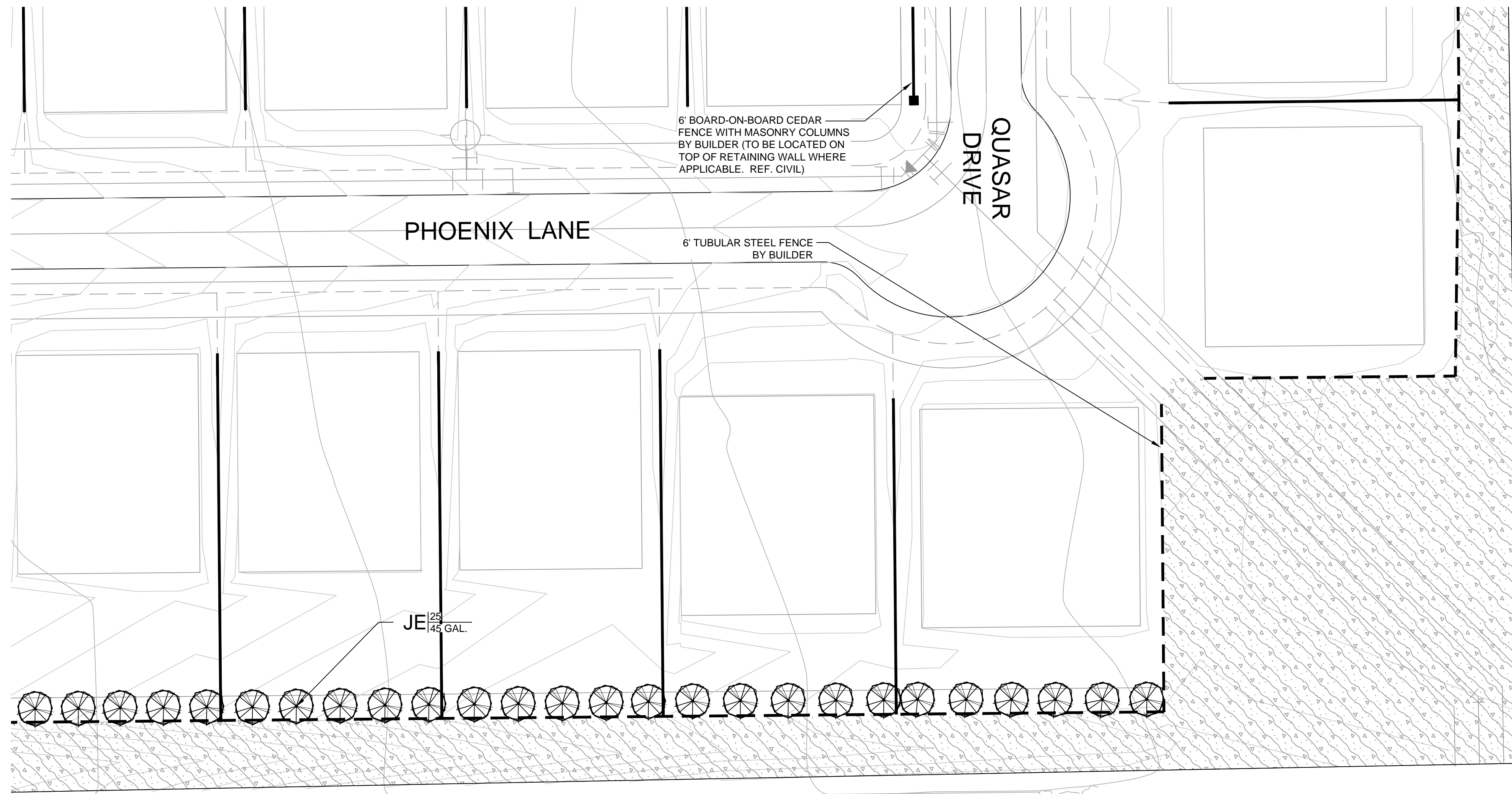
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ZONING CASE:
SP2022-015

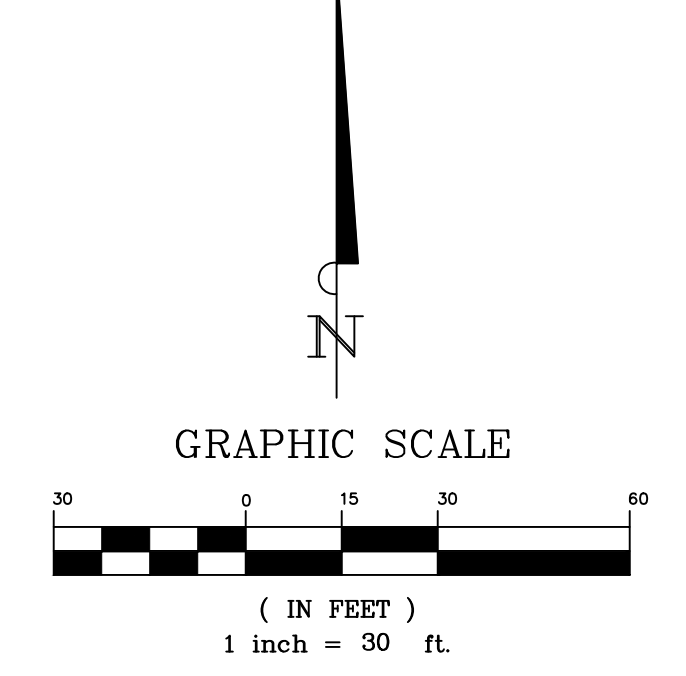


PLANT SCHEDULE

CAN. TREES	BOTANICAL / COMMON NAME
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	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS (SEED)

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	BOARD-ON-BOARD CEDAR FENCE
	BOARD-ON-BOARD CEDAR FENCE WITH MASONRY COLUMNS



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Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

LANDSCAPE ENLARGEMENT

No.	Date	Revision	Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-1.12

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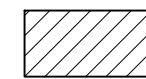
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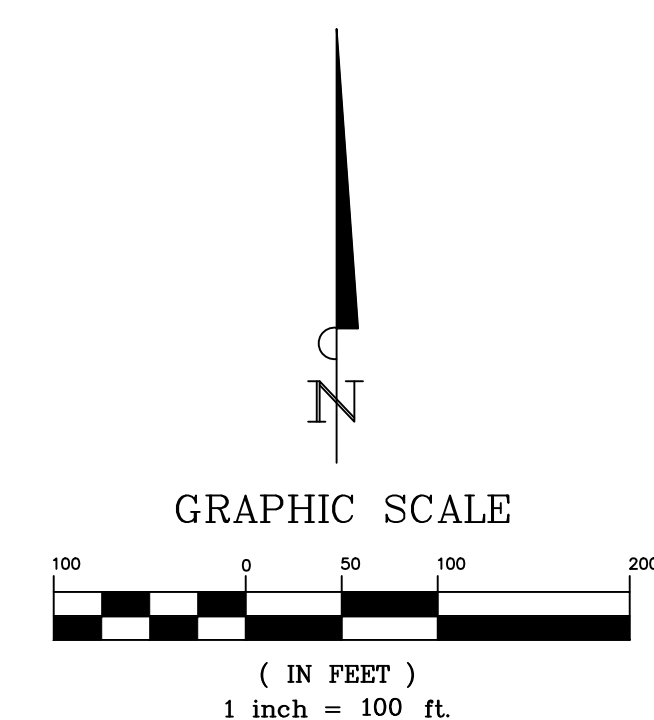
 Planning & Zoning Commission, Chairman Director of Planning and Zoning

ZONING CASE:
 SP2022-015



IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY
	PERMANENT IRRIGATION	300,122 SF
	TEMPORARY IRRIGATION	273,478 SF



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Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS

OVERALL LANDSCAPE PLAN

No.	Date	Revision	Description

PROJECT NO.: TEMPLATE



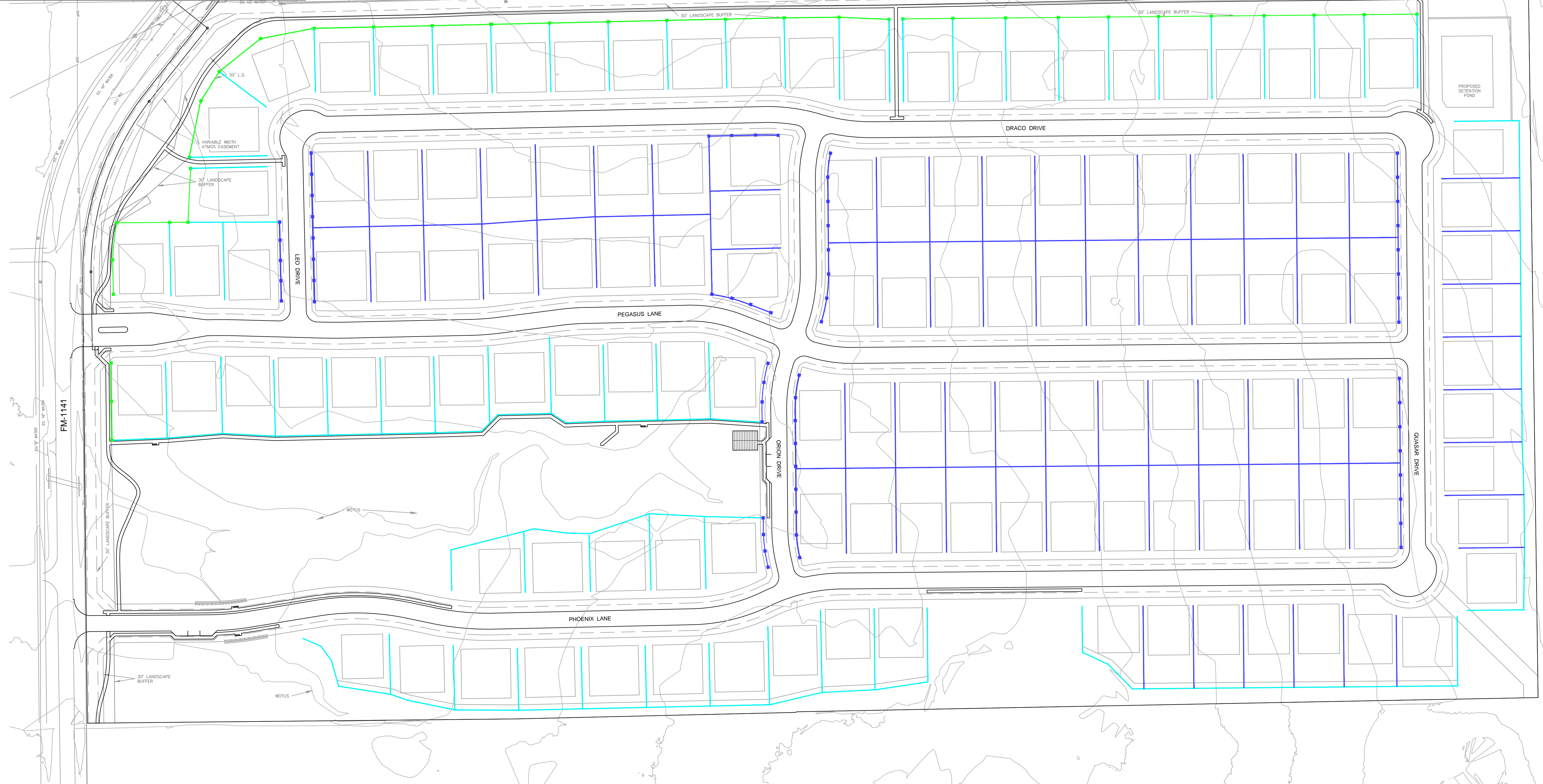
SHEET NUMBER
L-1.13

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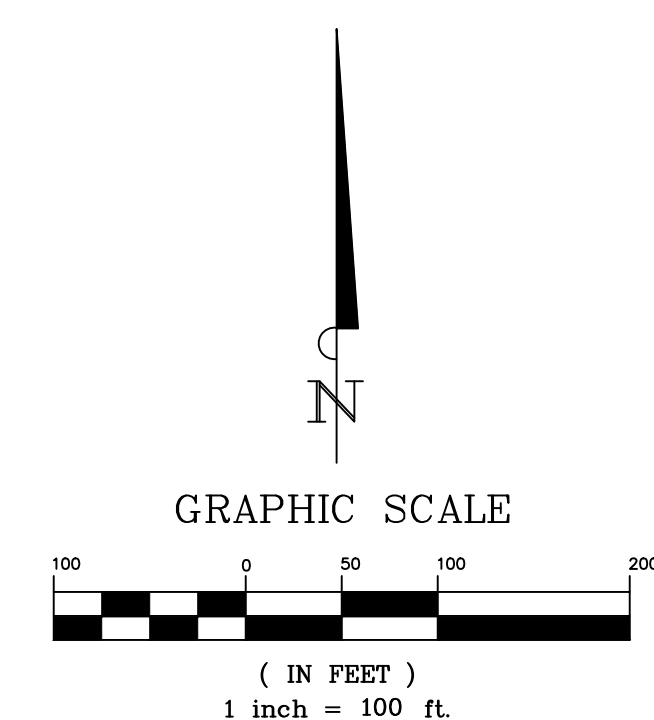
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ZONING CASE:
 SP2022-015



FENCE SCHEDULE

SYMBOL	DESCRIPTION	QTY
	6" TUBULAR STEEL FENCE (BY DEVELOPER)	2,845 LF
	MASONRY COLUMN (BY DEVELOPER)	35
	6" TUBULAR STEEL FENCE (BY BUILDER)	12,037 LF
	6" BOARD-ON-BOARD FENCE (BY BUILDER)	15,821 LF
	MASONRY COLUMN (BY BUILDER)	62



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Clem Development FM 1141/Clem Rd
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FENCING PLAN

No.	Date	Revision	Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-1.14

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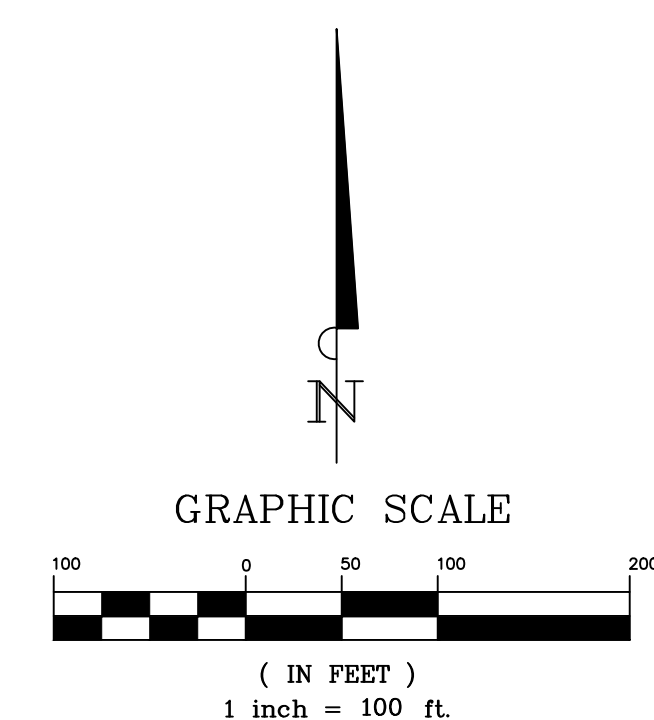
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ZONING CASE:
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HARDSCAPE SCHEDULE

SYMBOL	DESCRIPTION	QTY
	TRAIL/SIDEWALK BY DEVELOPER	39,426 SF



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 ROCKWALL, TEXAS
 HARDSCAPE PLAN

No.	Date	Revision	Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-1.15

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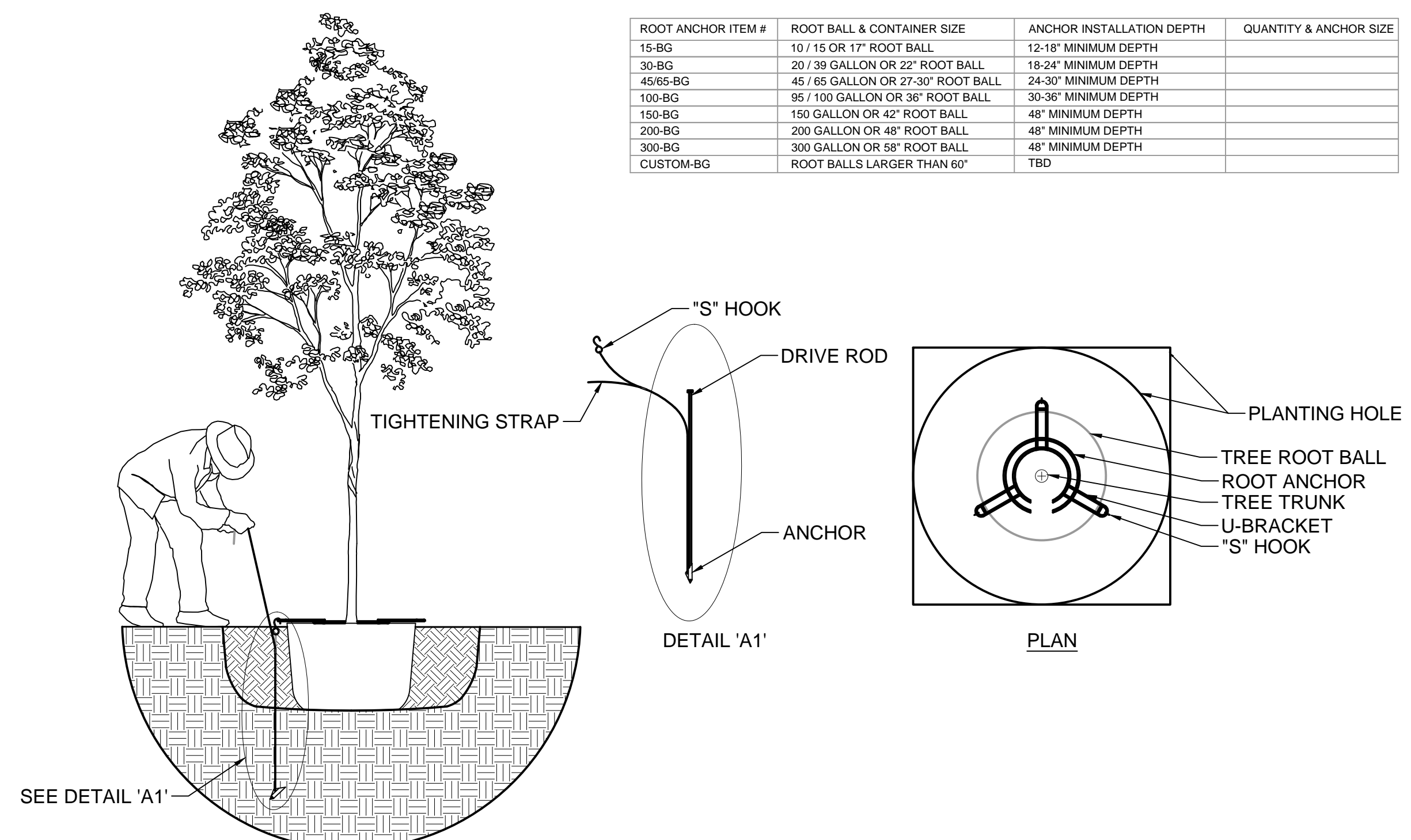
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ZONING CASE:
SP2022-015

GENERAL NOTES:

- LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED BY HIS/HER WORK.
- CONTRACTOR SHALL ADVISE THE OWNER AND LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- IF A DISCREPANCY BETWEEN DRAWINGS AND PLANT SCHEDULE IS FOUND, THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE.
- PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK.'
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
- SUBSTITUTIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE ARCHITECT
- ALL DISTURBED AREAS NOT INDICATED AS PLANTING BEDS SHALL BE SODDED OR SEEDED BY CONTRACTOR TO PROVIDE AN ESTABLISHED TURF AREA.
- CONTRACTOR SHALL REMOVE REASONABLE AMOUNT OF STONES, DEAD ROOTS, DETRITUS AND OTHER UNDESIRABLE MATERIAL FROM EXISTING SOIL.
- IF ROCKS ARE ENCOUNTERED, REMOVE TO A DEPTH OF 3" AND ADD 3" OF FRIABLE FERTILE TOPSOIL TO ALL SODDED AREAS. CONTRACTOR TO ENSURE THAT SITE IS GRADED ACCORDING TO THE ENGINEERS GRADING PLAN.
- LAWN AREAS SHALL HAVE 3" MINIMUM FRIABLE TOPSOIL AND BE TREATED WITH FERTILIZER APPLIED AT A RATE OF 20 POUNDS PER 1,000 SQUARE FEET.
- SOIL PREPARATION FOR PLANTING BEDS SHALL BE AS FOLLOWS:
OF ORGANIC COM OST
-20 POUNDS OF ORGANIC FERTILIZER/ 1,000 SF OF BED AREA
TILL BED TO A DE TH OF 6 TO
-CHECK SOIL ACIDITY. SOIL ACIDITY SHOULD RANGE FROM 5.0 TO 7.0 PH. REGULATE IF NECESSARY.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM 3" OF NATIVE HARDWOOD MULCH.
- TREE PLANTING PITS SHALL BE CLEARED OF UNDESIRABLE MATERIAL AND BACKFILLED WITH PREPARED TOP SOIL. PLACE 1" OF COMPOST AND 3" OF SHREDDED HARDWOOD MULCH ON TOP OF ROOT BALL...
- THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE CAUSED TO TREES DUE TO IMPROPER STAKING METHODS, INCLUDING ABSENCE OF STAKING THROUGHOUT THE WARRANTY PERIOD.
- TREES SHALL BE PLANTED AT LEAST 2.5 FEET FROM ANY RIGHT-OR-WAY LINE, CURB, WALK OR FIRE HYDRANT, AND OUTSIDE ALL UTILITY EASEMENTS.
- TREES SHALL BE PLANTED AT LEAST 8 FEET FROM ANY PUBLIC UTILITY LINE WHERE POSSIBLE. IN THE EVENT THIS IS NOT POSSIBLE, CONTRACTOR SHALL INSTALL A ROOT BARRIER, PER THE DETAIL(S) NOTED ON THIS SHEET.
- TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF 7 FEET FROM FINISH SURFACE.
- CONTRACTOR SHALL WARRANTY ANY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER THE FINAL ACCEPTANCE. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY CONDITION IN ACCORDANCE WITH THE SEASON. DEAD, DAMAGED OR DESTROYED PLANT MATERIAL SHALL BE REPLACED IN KIND WITHIN THIRTY DAYS. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON PART OF THE OWNER.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER OR WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVERSPRAY ON TREES IS PROHIBITED.
- INSTALLING CONTRACTOR TO MAINTAIN LANDSCAPING FOR 30 DAYS FROM OWNER OCCUPANCY TO ESTABLISH PLANTS AND GRASS. MOWING AND TRIMMING TO BE INCLUDED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND RE-ESTABLISHED BE SOD. THESE AREAS SHALL BE IRRIGATED AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. THIS IS TO INCLUDE ALL AREAS TO THE BACK OF CURB AROUND THE PROPERTY.
- ANY HARDWOOD MULCHED BEDS ON SITE SHALL HAVE PERMEABLE WEED MAT INSTALLED PRIOR TO PLANT MATERIAL AND MULCH BEING INSTALLED.
- ALL BEDDING AREAS WITH GROUND COVER (ASIAN JASMINE, WINTER CREEPER, ETC.) SHALL BE TOP DRESSED WITH HARDWOOD MULCH UNTIL GROUND COVER HAS COVERED AREA COMPLETELY.
- ANY SWITCH GEAR DEVICES, ELECTRICAL TRANSFORMERS, TELEPHONE PEDESTALS, AND HVAC UNITS LOCATED ON THE PROPERTY ARE TO BE SCREENED. IF THESE DEVICES HAVE BEEN ALTERED FROM THE MOST RECENT PLANS, THE CONTRACTOR IS TO VERIFY PLACEMENT OF THESE UTILITIES AND CONTACT LANDSCAPE ARCHITECT FOR PLANT MATERIAL SPECIFICATIONS AND PLACEMENT.
- LANDSCAPE CONTRACTOR SHALL NOT PLACE TOPSOIL OR MULCH ABOVE BRICK LEDGE OF THE BUILDING AND SHALL NOT BLOCK WEEP HOLES ON THE BUILDING.
- IF THE GRADES ON SITE AT THE TIME THE LANDSCAPE CONTRACTOR IS SET TO BEGIN WORK DOES NOT ALLOW THE BRICK LEDGE AND WEEP HOLES TO REMAIN UNCOVERED, IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OR GENERAL CONTRACTOR IMMEDIATELY.

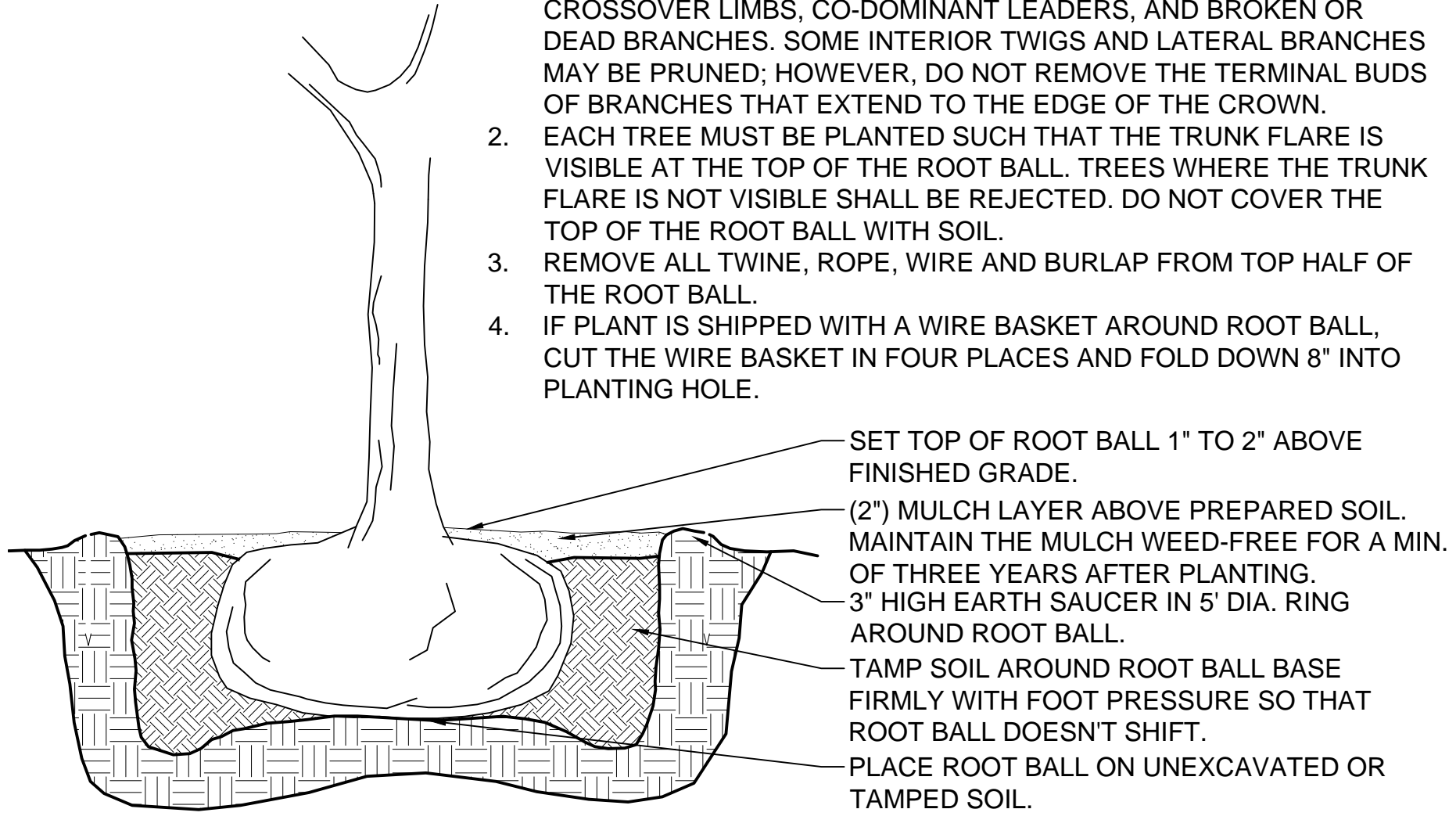
ROOT ANCHOR ITEM #	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
15-BG	10 / 15 OR 17" ROOT BALL	12-18" MINIMUM DEPTH	
30-BG	20 / 39 GALLON OR 22" ROOT BALL	18-24" MINIMUM DEPTH	
45/65-BG	45 / 65 GALLON OR 27-30" ROOT BALL	24-30" MINIMUM DEPTH	
100-BG	85 / 100 GALLON OR 36" ROOT BALL	30-36" MINIMUM DEPTH	
150-BG	150 GALLON OR 42" ROOT BALL	48" MINIMUM DEPTH	
200-BG	200 GALLON OR 48" ROOT BALL	48" MINIMUM DEPTH	
300-BG	300 GALLON OR 58" ROOT BALL	48" MINIMUM DEPTH	
CUSTOM-BG	ROOT BALLS LARGER THAN 60"	TBD	



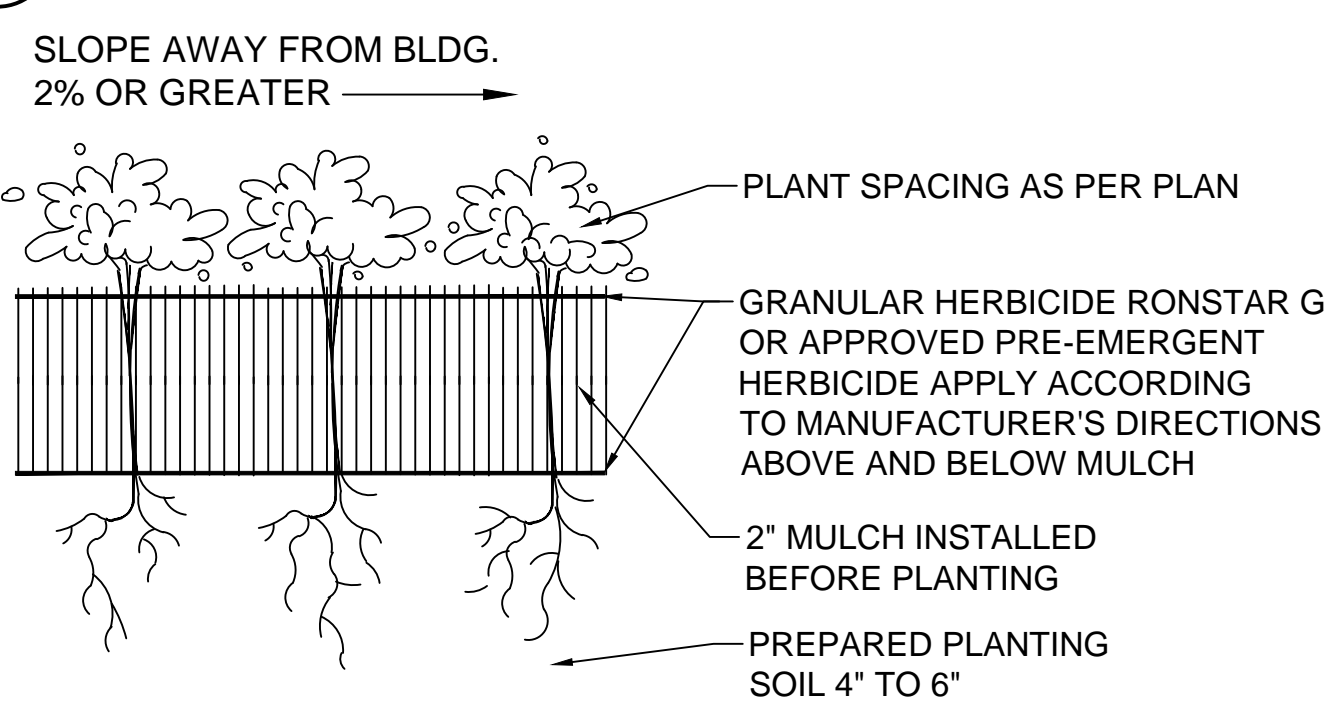
- STEP 1:**
- SET TREE IN PLANTING PIT.
 - PLACE ANCHOR WITH RING SIDE DOWN AGAINST TOP OF ROOT BALL.
 - CENTER ROOT ANCHOR'S INNER RING(S) AROUND TRUNK OF TREE.
 - ALIGN DRIVE ROD AS CLOSE AS POSSIBLE TO OUTSIDE EDGE OF U-BRACKET.
- STEP 2:**
- DRIVE ANCHOR STRAIGHT DOWN INTO UNDISTURBED SUBBASE SOIL.
 - SEE CHART FOR RECOMMENDED DEPTHS PER TREE SIZE.
- STEP 3:**
- REMOVE DRIP ROD.
 - REPEAT STEPS 1 & 2 FOR ALL THREE (3) ANCHOR LOCATIONS.
 - PULL BACK ON STRAP APPROXIMATELY 3" FOR THE V-68 ANCHOR, OR 6" TO 7" FOR THE V-88 ANCHOR TO SET ANCHOR INTO A HORIZONTAL OR LOCKED POSITION. A FULCRUM MAY BE REQUIRED TO ASSIST IN SETTING THE ANCHOR.
 - PLACE "S" HOOK OVER THE END OF THE U-BRACKET.
 - PULL STRAP UP VERTICALLY UNTIL ROOT ANCHOR RINGS BITE INTO THE TOP OF THE ROOT BALL AND U-BRACKETS ARE SETTING FLUSH ON TOP OF THE ROOT BALL.
 - TIE EXCESS STRAP OFF TO THE U-BRACKET ALLOWING ENOUGH REMAINING STRAP TO ADJUST TREE, IF NECESSARY.

B TREE STAKING DETAIL

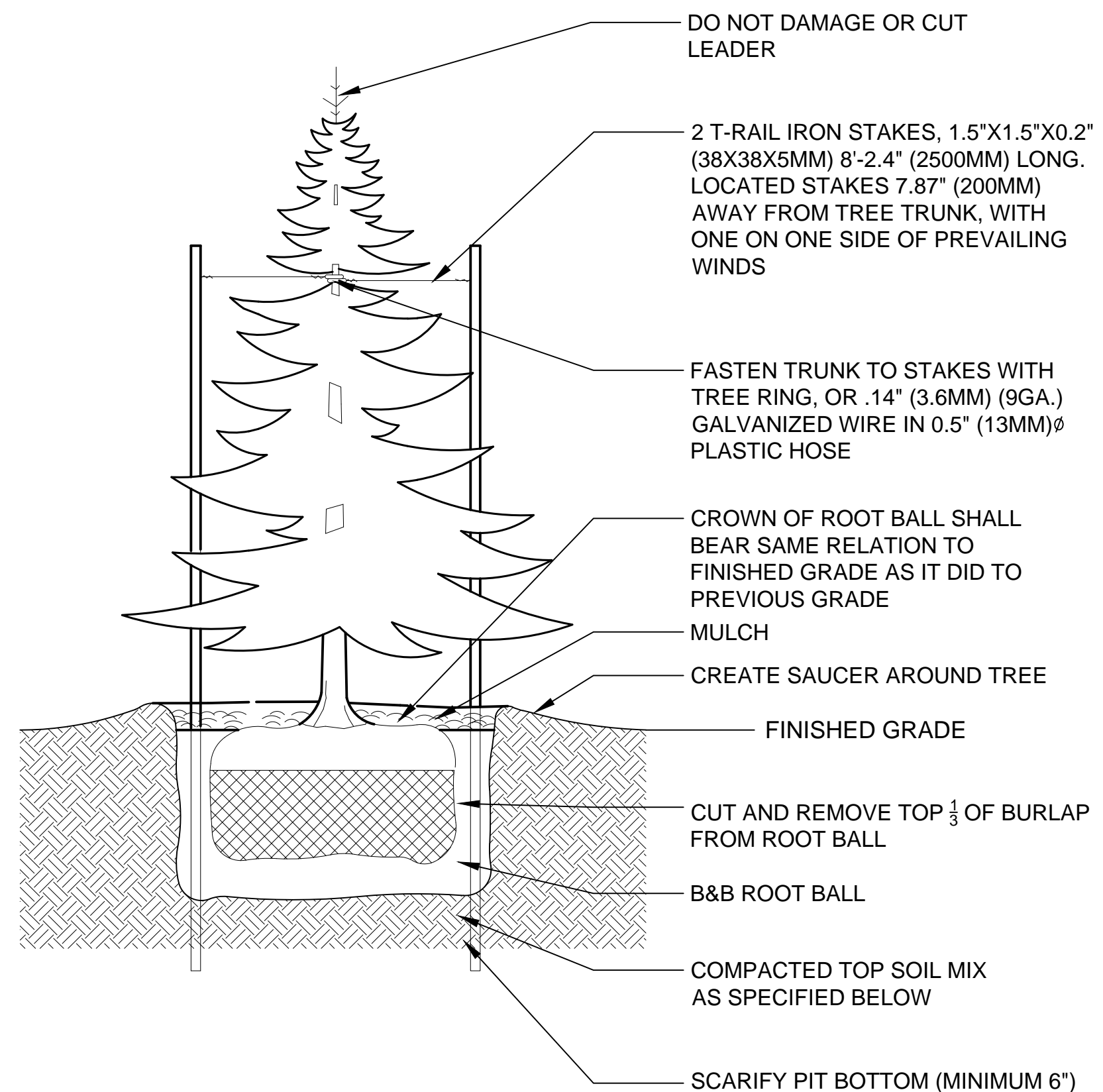
- NOTES:
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
 - EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
 - REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF THE ROOT BALL.
 - IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.



C TREE PLANTING DETAIL

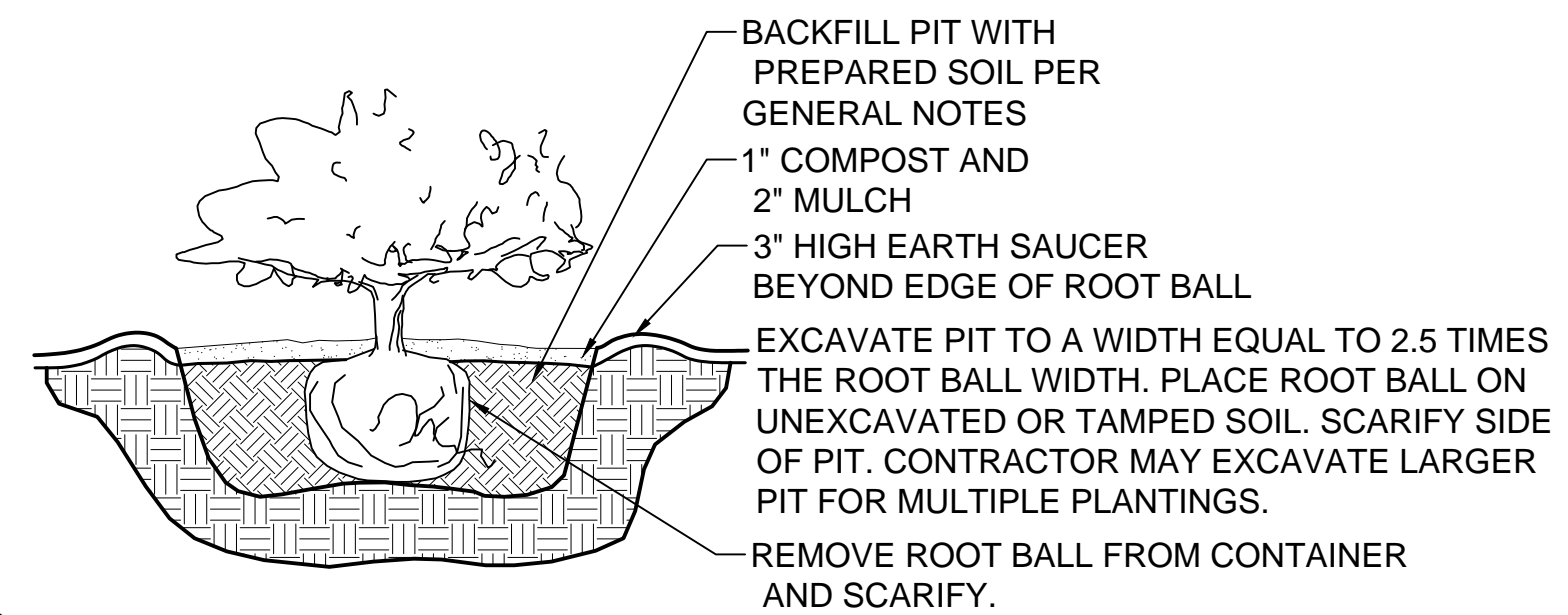


D GROUND COVER DETAIL



- SPECIFICATIONS:**
- DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
 - WATER THOROUGHLY AFTER INSTALLATION
 - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATIONS
 - PROVIDE DRAINAGE FOR PLANTING PUT IN IMPERMEABLE SOIL
 - TOPSOIL MIX, SEE SPEC.

E CONIFEROUS TREE STAKING DETAIL



A SHRUB PLANTING DETAIL

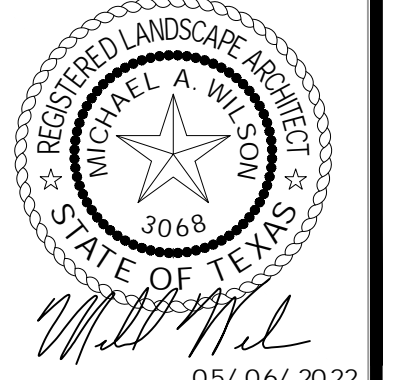
File: B:\Clients\090 (Storburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\A-2.0 Landscape Plan.dwg || Date Plotted: 5/9/2022 11:27 AM || Plotted By: mwilson

BANNISTER ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

LANDSCAPE NOTES & DETAILS

No.	Date	Revision	Description



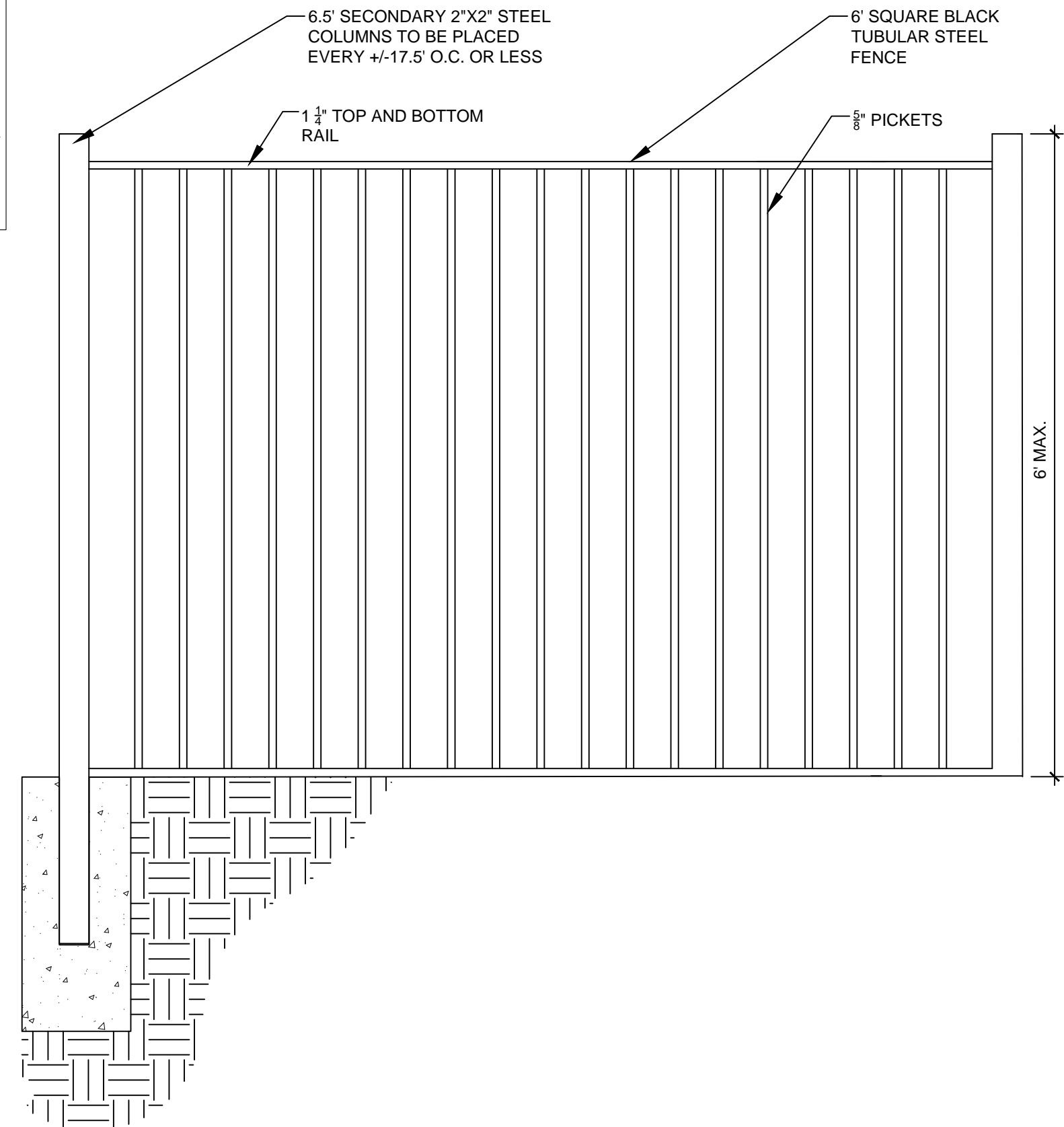
SHEET NUMBER
L-2.00

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.

WITNESS OUR HANDS, this _____ day of _____, 2022.

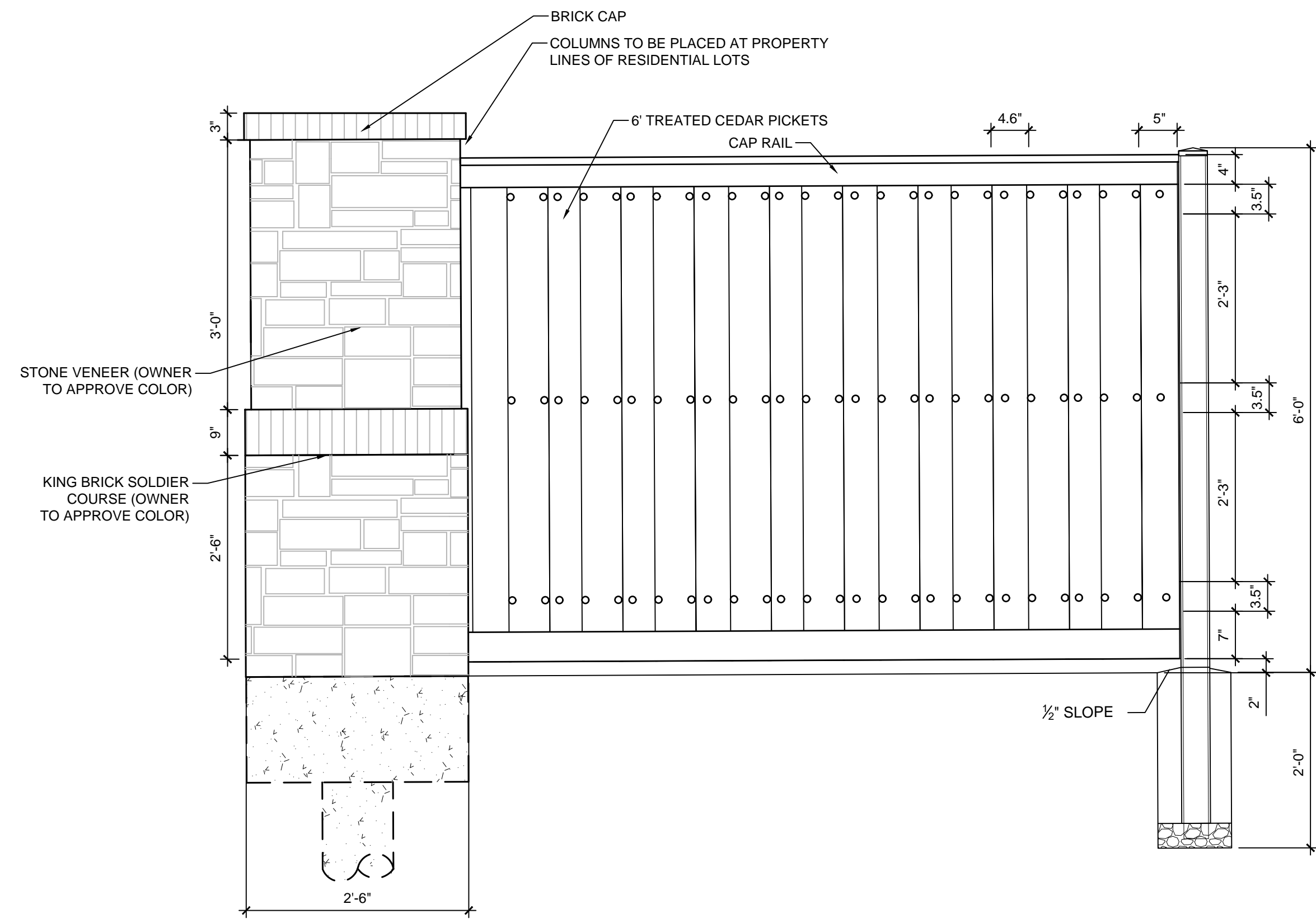
Planning & Zoning Commission, Chairman Director of Planning and Zoning

ZONING CASE:
SP2022-015



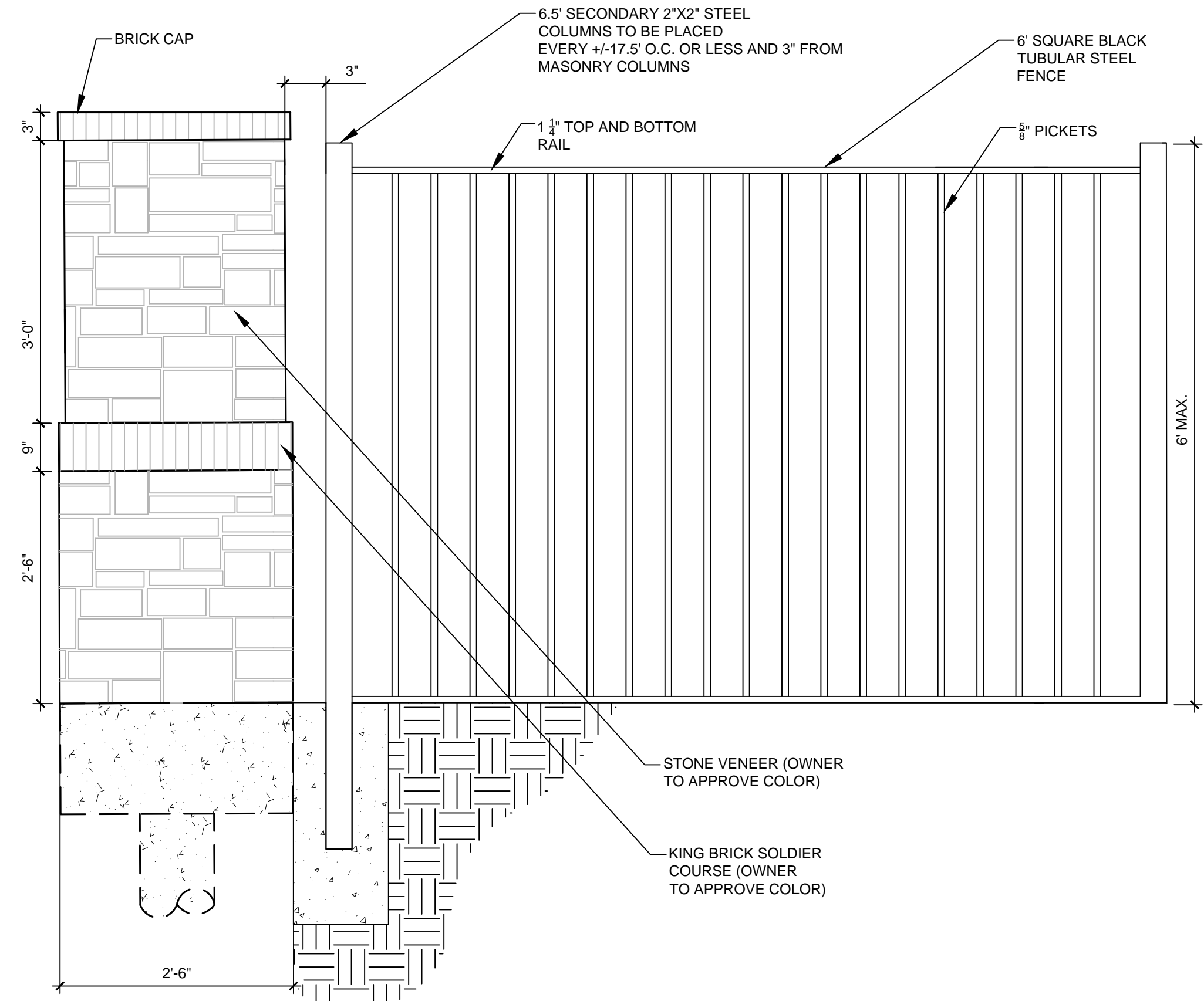
A TUBULAR STEEL FENCE DETAIL

NOT TO SCALE



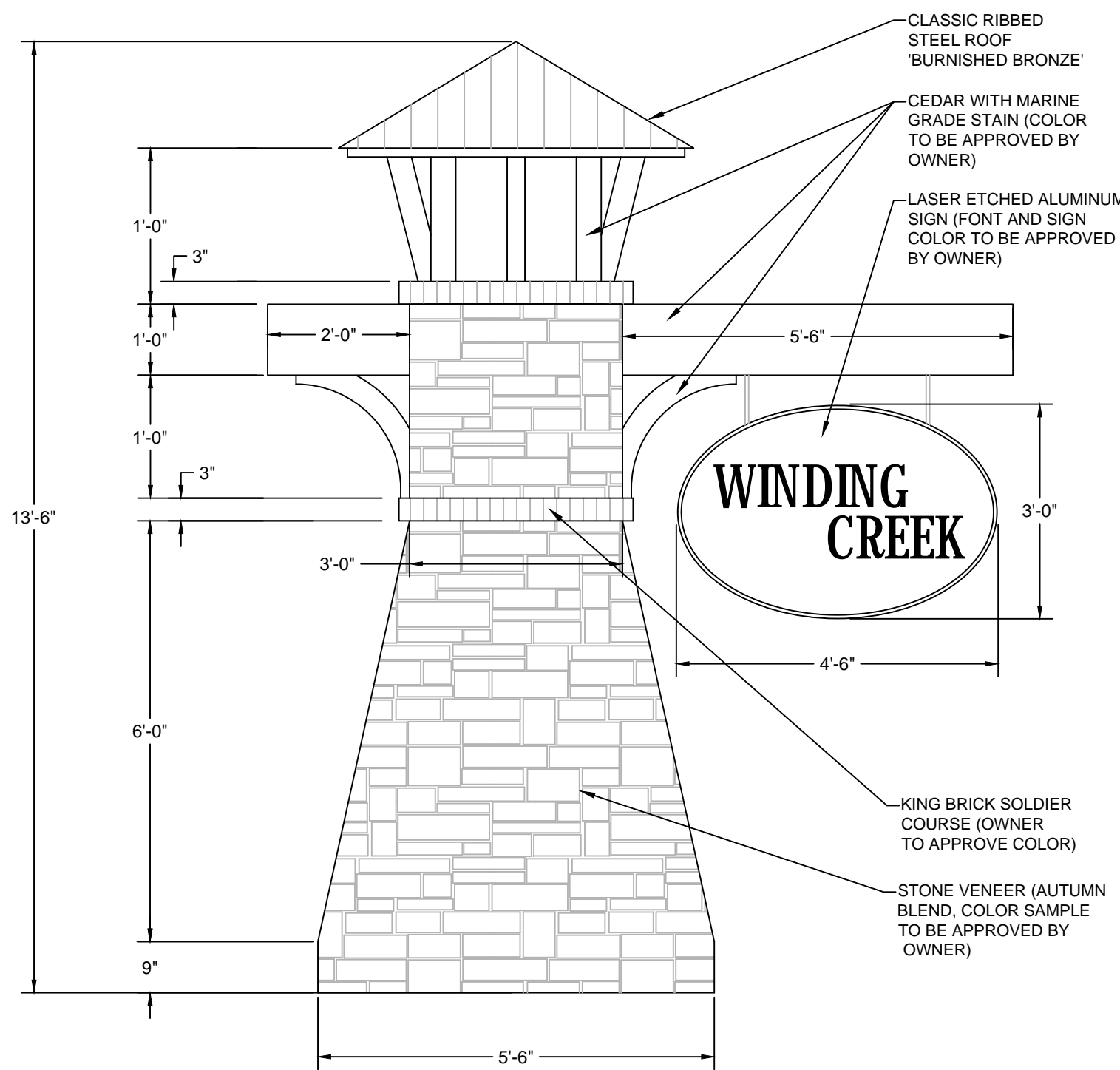
B BOARD ON BOARD CEDAR FENCE W/ MASONRY COLUMNS DETAIL

NOT TO SCALE



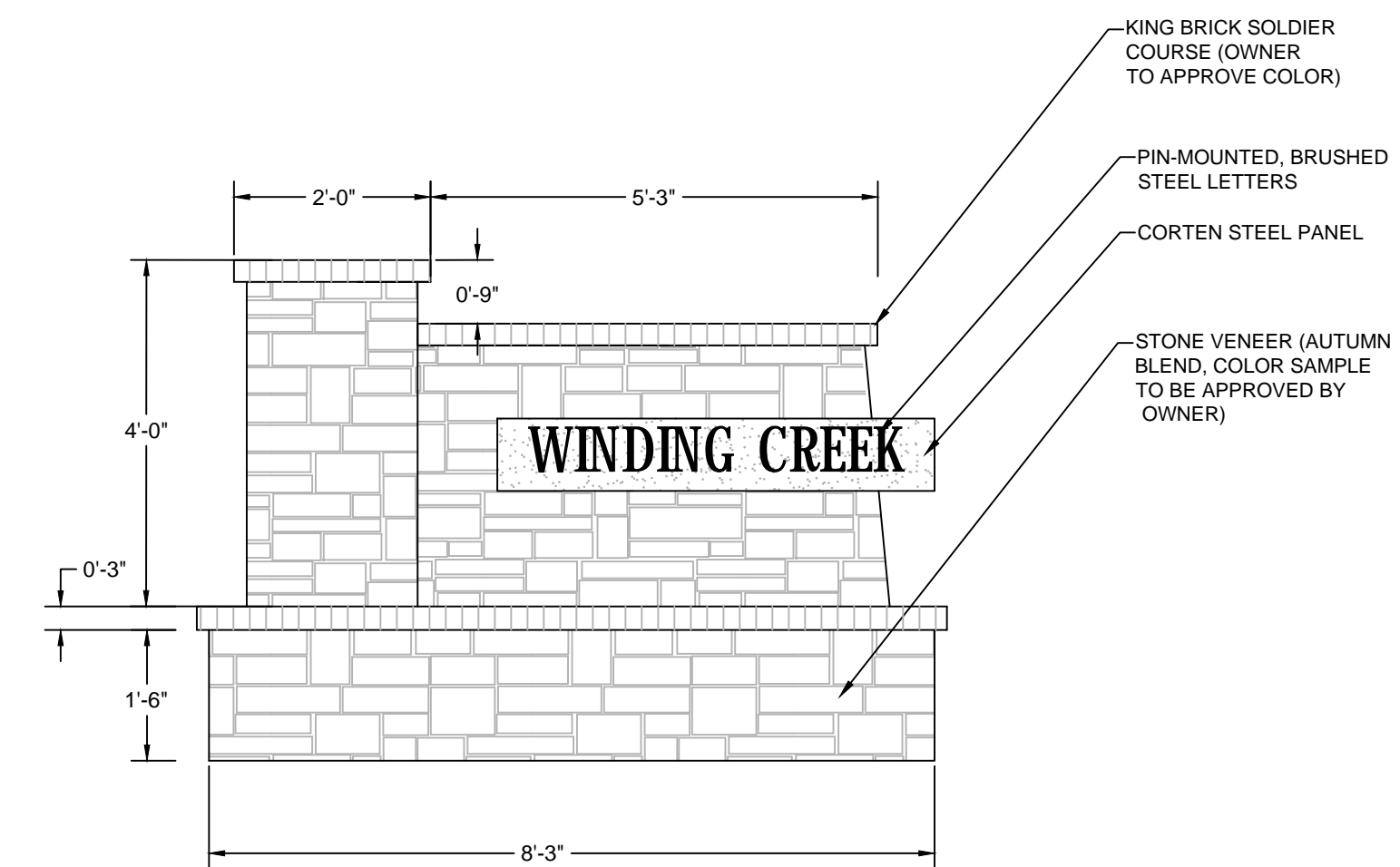
C TUBULAR STEEL FENCE W / MASONRY COLUMNS DETAIL

NOT TO SCALE



D PRIMARY MONUMENT SIGN DETAIL

NOT TO SCALE

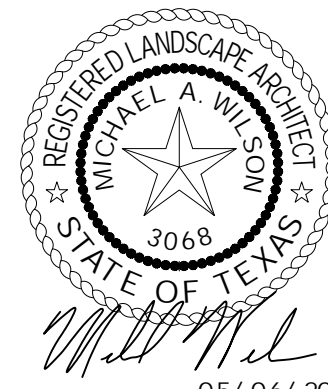


E SECONDARY MONUMENT SIGN DETAIL

NOT TO SCALE

File: B:\Clients\090 (Storburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L-2.0 Landscape Plan.dwg | Date Plotted: 5/6/2022 11:27 AM | Plotted By: mwilson

No.	Date	Revision Description

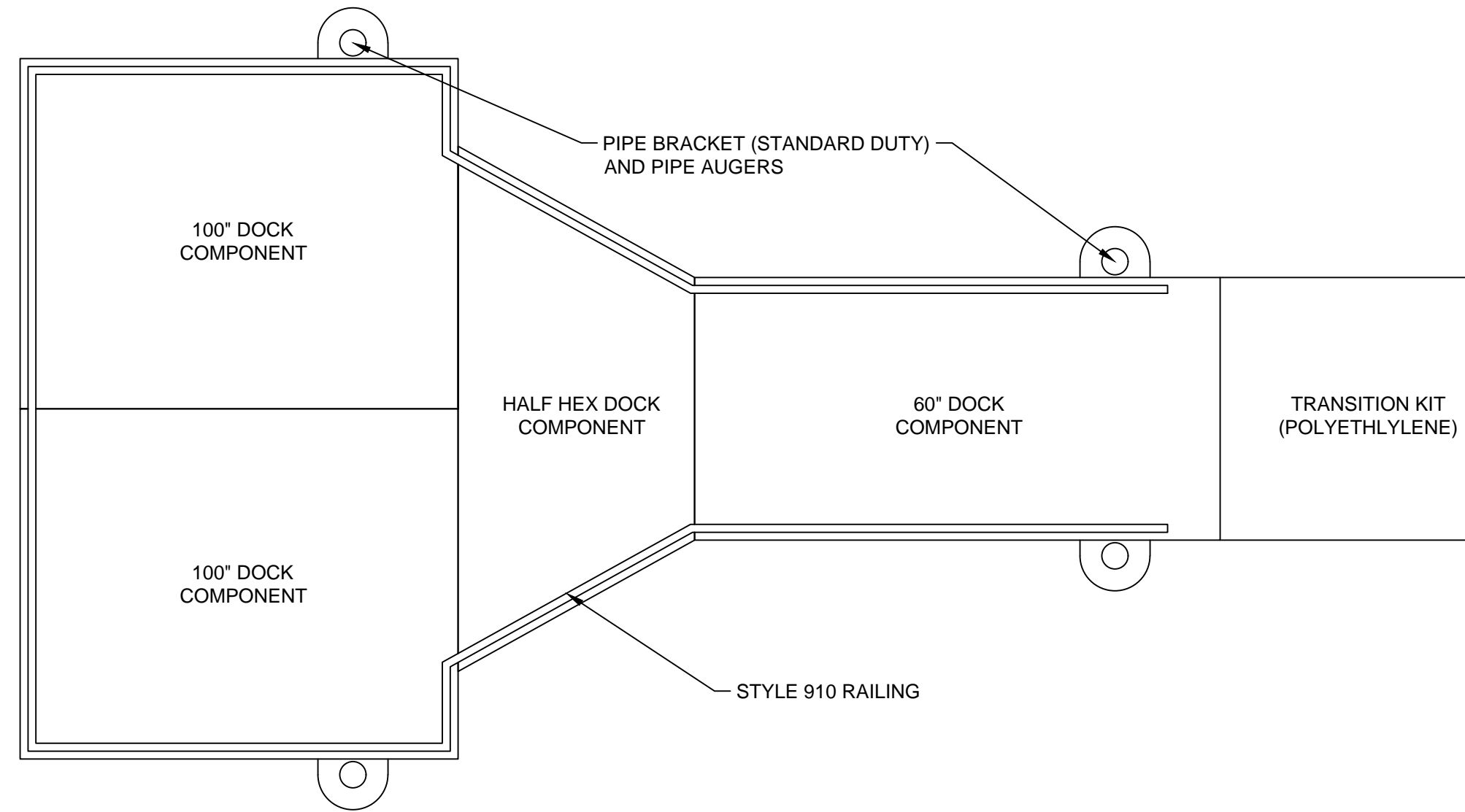


APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.

WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

ZONING CASE:
SP2022-015



1 EZDOCK MODULAR DOCK SYSTEM (OR APPROVED EQUAL)
3/8" = 1'-0"

D-01

PLANT SCHEDULE						
CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	99	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	45 GAL.	4"	10'-12'	FULL, MATCHING, SYMMETRICAL
	36	QUERCUS MACROCARPA BURR OAK	45 GAL.	4"	12'-14'	FULL, MATCHING, SYMMETRICAL
	103	QUERCUS MUEHLENBERGII CHINQUAPIN OAK OR OTHER APPROVED CANOPY SPECIES (BY BUILDER)	45 GAL.	4"	12'-14'	FULL, MATCHING, SYMMETRICAL
	38	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	45 GAL.	4"	12'-14'	FULL, MATCHING, SYMMETRICAL
	40	ULMUS CRASSIFOLIA CEDAR ELM	45 GAL.	4"	12'-14'	FULL, MATCHING, SYMMETRICAL
ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	70	CHILOPSIS LINEARIS DESERT WILLOW	30 GAL.	2"	4' MIN	FULL, MATCHING, SYMMETRICAL
	40	ILEX VOMITORIA YAUPON HOLLY	30 GAL.	2"	4' MIN	FULL, MATCHING, SYMMETRICAL
	40	SOPHORA AFFINIS EVE'S NECKLACE	30 GAL.	2"	4' MIN	FULL, MATCHING, SYMMETRICAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	317	ABELIA X 'ROSE CREEK' ROSE CREEK ABELIA	3 GAL.	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	40	BERBERIS THUNBERGII 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY	3 GAL.	18" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	291	BERBERIS THUNBERGII 'ROSE GLOW' ROSE GLOW JAPANESE BARBERRY	3 GAL.	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	57	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	1 GAL.	18" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	290	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT TEXAS RANGER	3 GAL.	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	35	MUHLENBERGIA CAPILLARIS 'LENCA' TM REGAL MIST PINK MUHLY GRASS	3 GAL.	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	283	ROSMARINUS OFFICINALIS ROSEMARY	3 GAL.	24" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	NOTES			
	429,120 SF	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS	SEED RATE PER MANUFACTURER			
	124,799 SF	CYNODON DACTYLON 'TIF 419' BERMUDA GRASS	SOD			

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
1	6' TUBULAR STEEL FENCE (BY DEVELOPER)	2,845 LF
2	6' TUBULAR STEEL FENCE (BY BUILDER)	12,037 LF
3	6' BOARD-ON-BOARD FENCE (BY BUILDER)	15,821 LF
4	PARK BENCH	4
5	TRAIL/SIDEWALK BY DEVELOPER	39,425 SF
6	PERMANENT IRRIGATION	300,122 SF
7	TEMPORARY IRRIGATION	273,478 SF

File: B:\Clients\090 (Storburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\2.0 Landscape Plan.dwg | Date Plotted: 5/6/2022 11:27 AM | Plotted By: mwilson

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

LANDSCAPE SCHEDULE

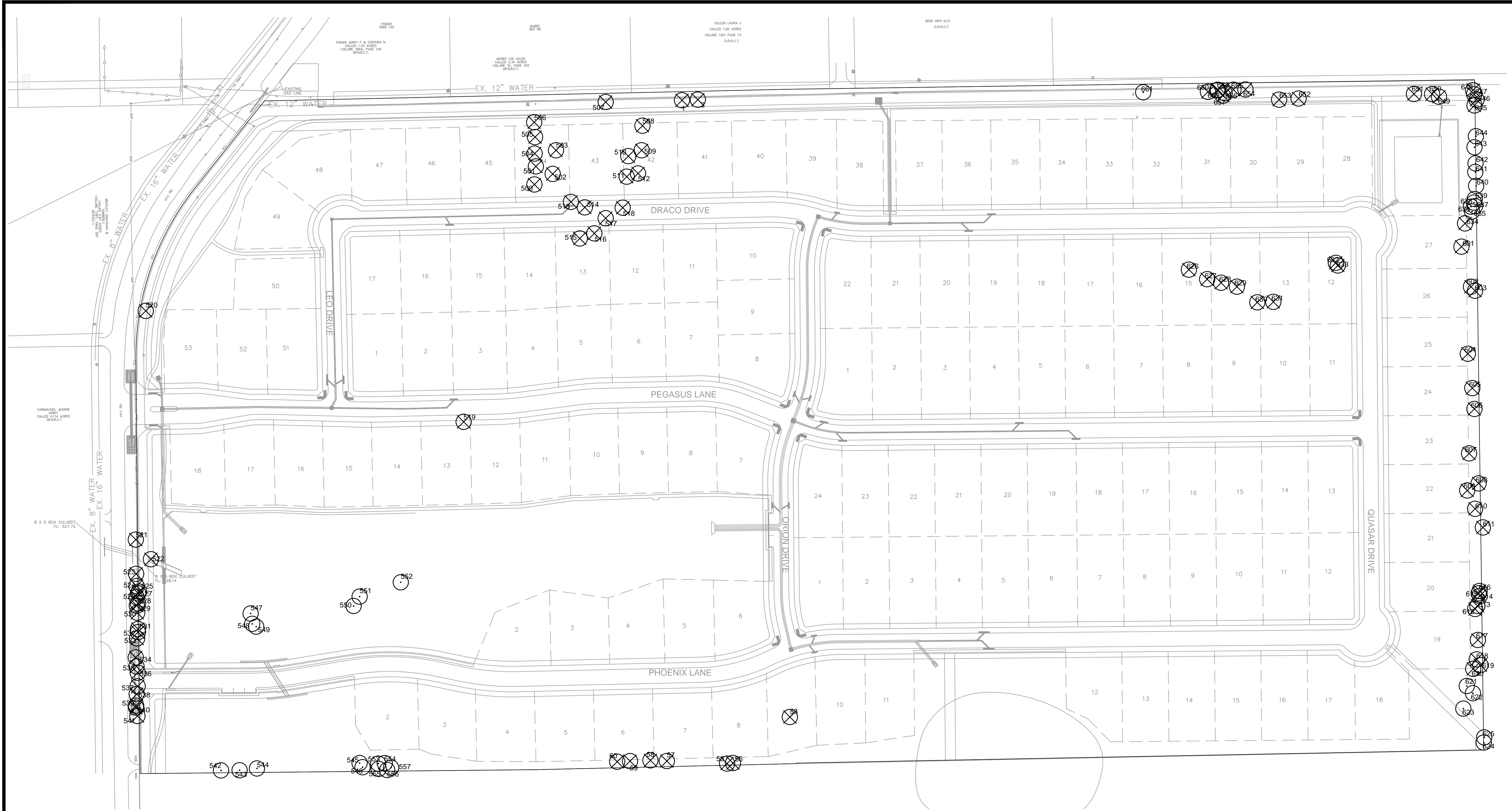
No.	Date	Revision	Description



SHEET NUMBER
L-2.02

05/06/2022

File: B:\Clients\090 (Storburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civil\Sheet Set\L-1.0 Tree Preservation Plan.dwg || Date Plotted: 1/26/2022 10:02 AM || Plotted By: mwilson



TOTAL MITIGATION REQUIRED	1,120.0
TOTAL MITIGATION REQUIRED (OFFSITE SEWER)	128.0
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	152.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	288.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED ON RESIDENTIAL LOTS*	412.0
REMAINING MITIGATION REQUIRED	0.0

*TREES ON RESIDENTIAL LOTS SHALL BE 4" CAL. MINIMUM AND PLANTED BY BUILDER AT TIME OF BUILDING PERMITTING

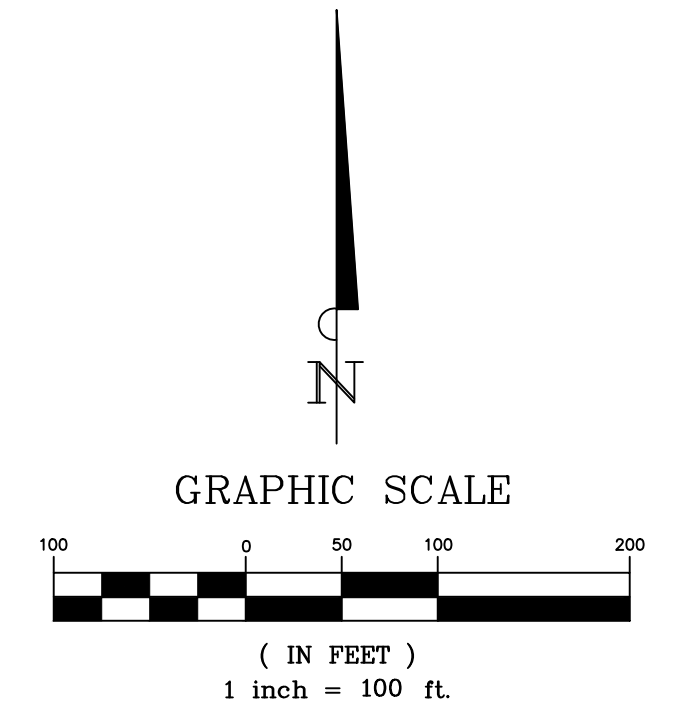
- TREE LEGEND**
- PRESERVED EXISTING TREE
 - REMOVED EXISTING TREE

SITE DATA

ACREAGE: 36.567
 LOT COUNT: 59
 (56 RESIDENTIAL,
 3 OPEN SPACE)

OWNER / DEVELOPER

FALCON PLACE SF, LTD.
 8214 WESTCHESTER DRIVE
 SUITE 710
 DALLAS, TX 75225
 PHONE: 214-522-4945
 CONTACT: JOHN ARNOLD

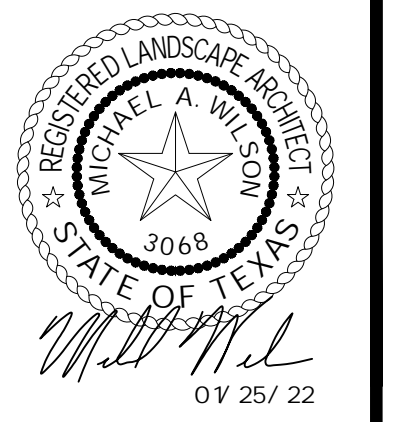


BANNISTER
 ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS
TREESCAPE PLAN

No.	Date	Revision Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-3.00

Table with 12 columns: Tree #, Diameter at Breast Height (Inches), Species, Canopy Radius (Feet), Multiple Trunks, General Condition, PRESERVED/REMOVED, Featured, Primary Protected, Secondary Protected, Non-Protected, Credit For Preserving. Rows 1-557.

Table with 12 columns: Tree #, Diameter at Breast Height (Inches), Species, Canopy Radius (Feet), Multiple Trunks, General Condition, PRESERVED/REMOVED, Featured, Primary Protected, Secondary Protected, Non-Protected, Credit For Preserving. Rows 601-661.

Summary table with 6 columns: Featured, Primary Protected, Secondary Protected, Non-Protected, Credit For Preserving, TOTAL. Values: 617.8, 201.6, 300.6, -, -, 1,120.0

TOTAL MITIGATION REQUIRED: 1,120.0. TOTAL MITIGATION REQUIRED (OFF SITE SEWER): 128.0. TOTAL CREDITS PROVIDED: 152.0, 288.0, 396.0, 412.0. REMAINING MITIGATION REQUIRED: 0.0. *TREES ON RESIDENTIAL LOTS SHALL BE 4" CAL. MINIMUM AND PLANTED BY BUILDER AT TIME OF BUILDING PERMITTING.

SPECIES CLASSIFICATION table listing various tree species and their corresponding classifications (PRIMARY, SECONDARY, NON-PROTECTED).

Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

TREESCPE PLAN TABLES (1 OF 1)

Table with 2 columns: No., Revision Description. Empty rows for revision tracking.



File: B:\Clients\090 (Storburg Development)\090-21-006 (Winding Creek LS - Rockwall)\Civ\Sheet Set\Tree Preservation Plan-Offsite Sewer.dwg || Date Plotted: 1/26/2022 10:02 AM || Plotted By: mwlison

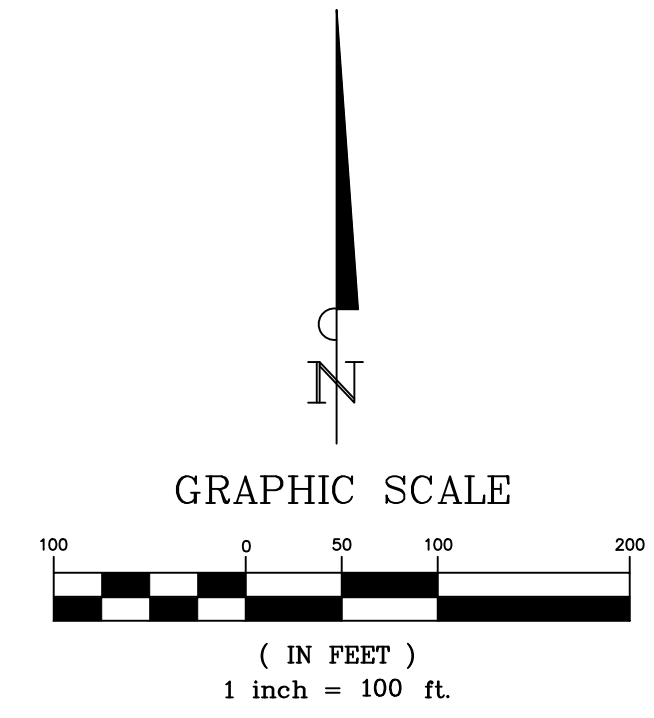


TOTAL MITIGATION REQUIRED (OFFSITE SEWER)	128.0
TOTAL MITIGATION REQUIRED (PRIMARY SITE)	1,120.0
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	152.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	288.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED ON RESIDENTIAL LOTS*	412.0
REMAINING MITIGATION REQUIRED	0.0

*TREES ON RESIDENTIAL LOTS SHALL BE 4" CAL. MINIMUM AND PLANTED BY BUILDER AT TIME OF BUILDING PERMITTING

- TREE LEGEND**
- PRESERVED EXISTING TREE
 - REMOVED EXISTING TREE

OWNER / DEVELOPER
 FALCON PLACE SF, LTD.
 8214 WESTCHESTER DRIVE
 SUITE 710
 DALLAS, TX 75225
 PHONE: 214-522-4945
 CONTACT: JOHN ARNOLD



INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

BANNISTER
 ENGINEERING
 240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 REGISTRATION # F-10599 (TEXAS)

Clem Development FM 1141/Clem Rd
 ROCKWALL, TEXAS

OFFSITE SEWER TREESCPE PLAN

No.	Date	Revision Description



PROJECT NO.: TEMPLATE

SHEET NUMBER
L-4.00

Tree #	Diameter at Breast Height (inches)	Species	General Condition	PRESERVED/REMOVED	Featured	Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving
1	7	eastern red cedar	Healthy	PRESERVED	-	-	-	-	-
2	8	eastern red cedar	Healthy	PRESERVED	-	-	-	-	-
3	8	eastern red cedar	Healthy	PRESERVED	-	-	-	-	-
4	11	sugarbany	Healthy	REMOVED	-	-	5.5	-	-
5	14	sugarbany	Healthy	REMOVED	-	-	7.0	-	-
6	11	sugarbany	Healthy	REMOVED	-	-	5.5	-	-
7	7	sugarbany	Healthy	REMOVED	-	-	3.5	-	-
8	12	sugarbany	Healthy	REMOVED	-	-	6.0	-	-
9	12	sugarbany	Healthy	REMOVED	-	-	6.0	-	-
10	9	sugarbany	Healthy	REMOVED	-	-	4.5	-	-
11	10	sugarbany	Healthy	REMOVED	-	-	5.0	-	-
12	6	sugarbany	Healthy	REMOVED	-	-	3.0	-	-
13	8	sugarbany	Healthy	REMOVED	-	-	4.0	-	-
14	9	sugarbany	Healthy	REMOVED	-	-	4.5	-	-
15	9	sugarbany	Healthy	REMOVED	-	-	4.5	-	-
16	6	sugarbany	Healthy	REMOVED	-	-	3.0	-	-
17	12	sugarbany	Healthy	REMOVED	-	-	6.0	-	-
18	8	sugarbany	Healthy	REMOVED	-	-	4.0	-	-
19	14	sugarbany	Healthy	REMOVED	-	-	7.0	-	-
20	8	sugarbany	Healthy	REMOVED	-	-	4.0	-	-
21	14	sugarbany	Healthy	REMOVED	-	-	7.0	-	-
22	8	sugarbany	Healthy	REMOVED	-	-	4.0	-	-
23	10	sugarbany	Healthy	REMOVED	-	-	5.0	-	-
24	11	sugarbany	Healthy	REMOVED	-	-	5.5	-	-
25	8	sugarbany	Healthy	REMOVED	-	-	4.0	-	-
26	13	live oak	Healthy	PRESERVED	-	-	-	-	-
27	19	sugarbany	Healthy	PRESERVED	-	-	-	-	-
28	10	sugarbany	Healthy	PRESERVED	-	-	-	-	-
29	25	sugarbany	Healthy	PRESERVED	-	-	-	-	-
30	17	sugarbany	Healthy	PRESERVED	-	-	-	-	-
31	12	sugarbany	Healthy	PRESERVED	-	-	-	-	-
32	23	sugarbany	Healthy	PRESERVED	-	-	-	-	-
33	10	sugarbany	Healthy	PRESERVED	-	-	-	-	-
34	15	sugarbany	Healthy	PRESERVED	-	-	-	-	-
35	14	sugarbany	Healthy	REMOVED	-	-	7.0	-	-
36	17	sugarbany	Healthy	REMOVED	-	-	8.5	-	-
37	12	sugarbany	Healthy	PRESERVED	-	-	-	-	-
38	10	sugarbany	Healthy	PRESERVED	-	-	-	-	-
39	14	sugarbany	Healthy	PRESERVED	-	-	-	-	-
40	13	sugarbany	Healthy	PRESERVED	-	-	-	-	-
41	11	sugarbany	Healthy	PRESERVED	-	-	-	-	-
42	6	sugarbany	Healthy	PRESERVED	-	-	-	-	-
43	10	sugarbany	Healthy	PRESERVED	-	-	-	-	-
44	15	sugarbany	Healthy	PRESERVED	-	-	-	-	-
45	14	sugarbany	Healthy	PRESERVED	-	-	-	-	-
46	6	sugarbany	Healthy	PRESERVED	-	-	-	-	-
47	9	sugarbany	Healthy	PRESERVED	-	-	-	-	-
48	6	sugarbany	Healthy	PRESERVED	-	-	-	-	-
49	21	sugarbany	Healthy	PRESERVED	-	-	-	-	-
50	8	sugarbany	Healthy	PRESERVED	-	-	-	-	-
51	10	sugarbany	Healthy	PRESERVED	-	-	-	-	-
52	9	live oak	Healthy	PRESERVED	-	-	-	-	-
53	11	sugarbany	Healthy	PRESERVED	-	-	-	-	-
54	14	sugarbany	Healthy	PRESERVED	-	-	-	-	-
55	8	eastern red cedar	Healthy	REMOVED	-	-	4.0	-	-
							128.0	-	-
						Primary Protected	Secondary Protected	Non-Protected	Credit For Preserving

TOTAL MITIGATION REQUIRED (OFFSITE SEWER)	128.0
TOTAL MITIGATION REQUIRED (PRIMARY SITE)	1,120.0
TOTAL CREDITS PROVIDED	
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG FM-1141	152.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG CLEM RD	288.0
INCHES OF TREES TO BE PLANTED IN BUFFERS ALONG SOUTH PROPERTY LINE	396.0
INCHES OF TREE TO BE PLANTED ON RESIDENTIAL LOTS*	412.0
REMAINING MITIGATION REQUIRED	0.0

*TREES ON RESIDENTIAL LOTS SHALL BE 4" CAL. MINIMUM AND PLANTED BY BUILDER AT TIME OF BUILDING PERMITTING

SPECIES	CLASSIFICATION
GREEN ASH	PRIMARY
CEDAR ELM	PRIMARY
GUM BUMELIA	PRIMARY
COMMON PERSIMMON	PRIMARY
AMERICAN ELM	PRIMARY
LIVE OAK	PRIMARY
BUR OAK	PRIMARY
BRADFORD PEAR	PRIMARY
RED MULBERRY	PRIMARY
BALD CYPRESS	PRIMARY
CRAPE MYRTLE	PRIMARY
YAUPON	PRIMARY
SCOTCH PINE	PRIMARY
SILVER MAPLE	PRIMARY
SHUMARD'S OAK	PRIMARY
SUGARBERRY (HACKBERRY)	SECONDARY
EASTERN REDCEDAR	SECONDARY
COTTONWOOD	NON-PROTECTED
BLACK WILLOW	NON-PROTECTED
HERCULES-CLUB	NON-PROTECTED
OSAGE-ORANGE	NON-PROTECTED
HONEY-LOCUST	NON-PROTECTED
JAPANESE PRIVET	NON-PROTECTED



Clem Development FM 1141/Clem Rd
ROCKWALL, TEXAS

OFFSITE SEWER TREESCAPE PLAN TABLES

No.	Date	Revision Description

PROJECT NO.: TEMPLATE



SHEET NUMBER
L-4.01

INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 10, 2022
APPLICANT: Brian Jones
CASE NUMBER: P2022-018; *Replat for Lots 1 & 2, Block A, North Alamo Addition*

SUMMARY

Hold a public hearing to discuss and consider a request by Brian Jones for the approval of a Replat for Lots 1 & 2, Block A, North Alamo Addition being a 2.1325-acre tract of land identified as Block 15, 15B, & 15C of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 401, 405, 501 & 503 N. Alamo Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Replat for a 1.948-acre tract of land (*i.e. Block 15 and 15B, Amick Addition*) for the purpose of subdividing the subject property into two (2) lots (*i.e. Lots 1 & 2, Block A, North Alamo Addition*).
- The subject property was annexed prior to 1934 based on the April 1934 Sanborn Maps. According to the January 3, 1972 zoning map, the subject property was zoned General Retail (GR) District. The zoning designation of the subject property changed from a General Retail (GR) District to a Single-Family 10 (SF-10) District sometime between January 3, 1972 and May 16, 1983 based on the City's historic zoning maps. The subject property has remained zoned Single-Family 10 (SF-10) District since this change.
- This being a residential replat, staff is bringing the case forward for a public hearing in accordance with Chapter 212, Municipal Regulations of Subdivisions and Property Development, of the Texas Local Government Code (TLGC). On April 26, 2022, staff notified 53 property owners and occupants within 200-feet of the subject property. Additionally, staff advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices regarding the applicant's request.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Replat for *Lots 1 & 2, Block A, North Alamo Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;

- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2022-018

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

405 North Alamo Rd

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

SF10

CURRENT USE

Residential Land

PROPOSED ZONING

SF10

PROPOSED USE

Residential Land

ACREAGE

2.0

LOTS [CURRENT]

1

LOTS [PROPOSED]

2

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Bryan Jones

APPLICANT

CONTACT PERSON

Bryan Jones

CONTACT PERSON

ADDRESS

802 Barrymore Dr.

ADDRESS

CITY, STATE & ZIP

Rockwall, Tx 75087

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

Bjones@republicelite.com

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bryan Jones [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

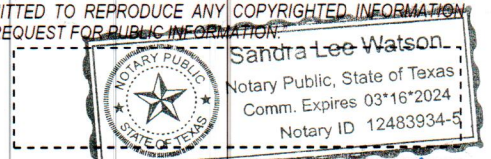
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF April, 2022

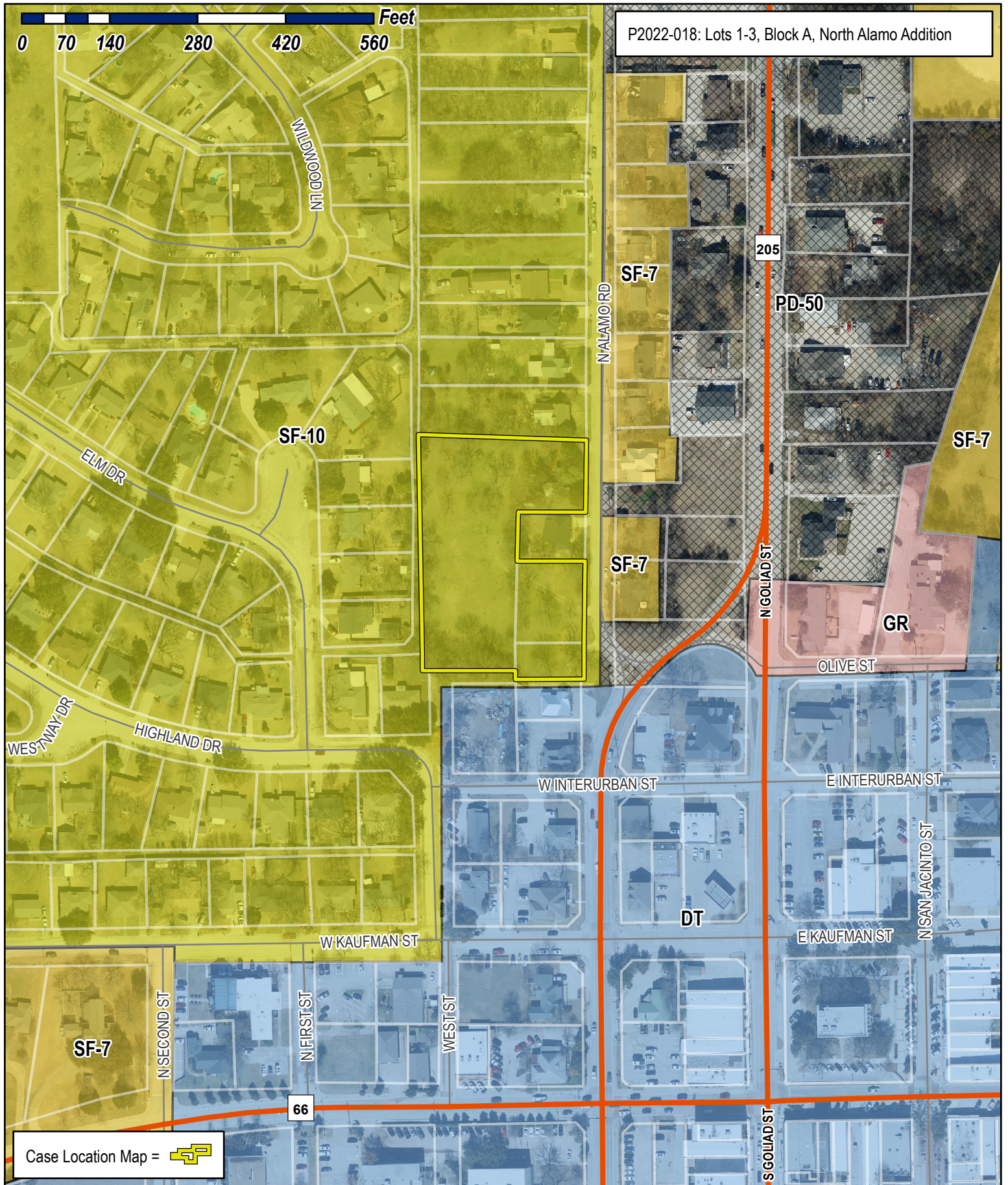
OWNER'S SIGNATURE

[Signature]
Sandra L. Watson

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 3.16.24



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

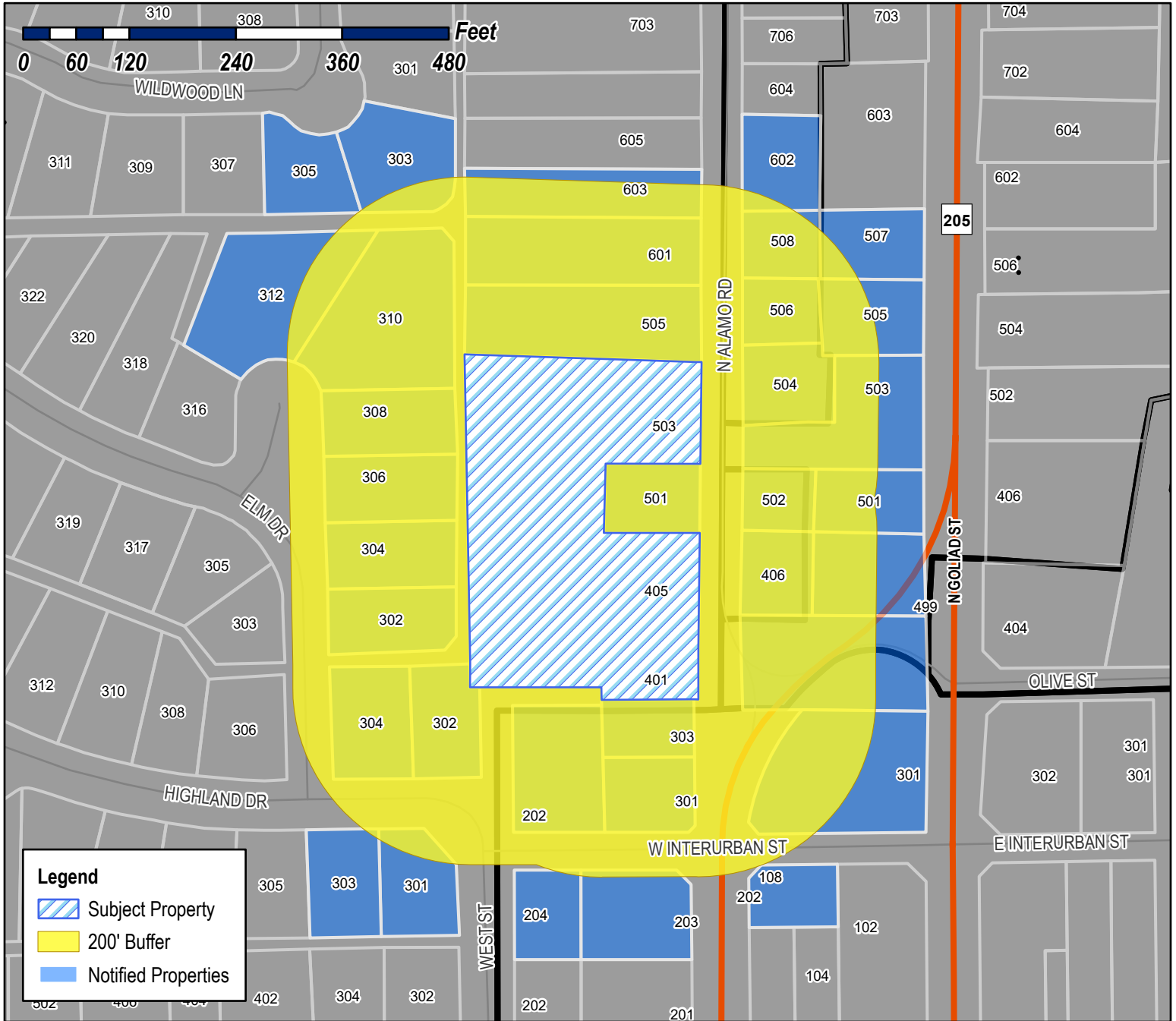




City of Rockwall

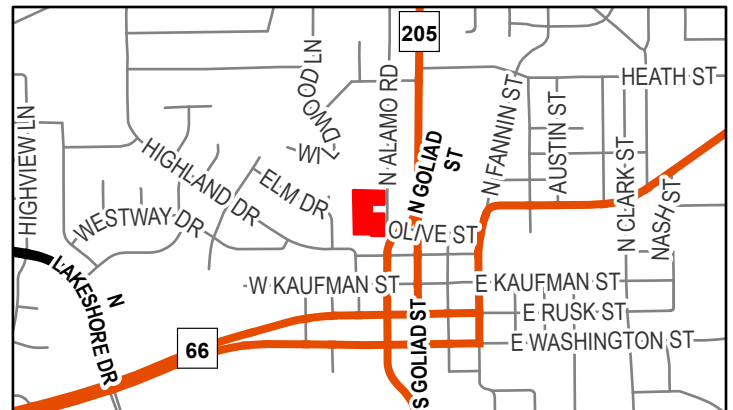
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: P2022-018
Case Name: Residential Replat for Lots 1-3, Block A, North Goliad Addition
Case Type: Replat
Zoning: Single-Family 10 (SF-10) District
Case Address: 401, 405, 501, & 503 N. Alamo Road

Date Saved: 4/18/2022
 For Questions on this Case Call (972) 771-7745



PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. P2022-018: Residential Replat for Lots 1-3, Block A, North Alamo Addition

Hold a public hearing to discuss and consider a request by Brian Jones for the approval of a Replat for Lots 1-3, Block A, North Alamo Addition being a 2.1325-acre tract of land identified as Block 15, 15B, 15C & 16 of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 401, 405, 501 & 503 N. Alamo Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 10, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 16, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 16, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. P2022-018: Residential Replat for Lots 1-3, Block A, North Alamo Addition

Please place a check mark on the appropriate line below:

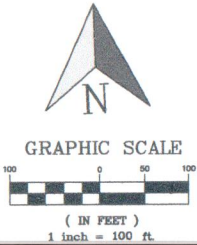
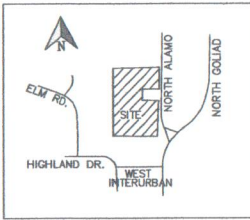
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



5/8" CIRS= IRON ROD WITH CAP
STAMPED "MAYO-WRIGHT"

B.F. BOYDSTUN SURVEY, A-14

PAMELA TUCKER
VOLUME 5505, PAGE 88
O.P.R.R.C.T.

N: 7028791.9850
E: 2593954.0780

LOT 1
BLOCK "A"
(31,303 S.F. 0.7186 AC.)

B & J INV, LLC
INST. # 2021-0000020949
O.P.R.R.C.T.

N: 7028607.4223
E: 2593949.7324

BRYAN JONES
INST. # 2021000021151
O.P.R.R.C.T.

LOT 2
BLOCK "A"
(55,805 S.F. 1.2811 AC.)

N1° 52' 51"E 64.56'
N89° 37' 39"W 91.04'

LOT 3
BLOCK "A"
(5,783 S.F. 0.1327 AC.)

N89° 17' 24"E 88.90'

10' DRAINAGE EASEMENT
VOLUME 413, PAGE 132
O.P.R.R.C.T.

DAVENPORT RENTAL PROP.
INST. # 2019000001344
O.P.R.R.C.T.

REPLAT OF LOTS 7&8, BLOCK A
ORIG. TOWN OF ROCKWALL
INST. # 2011-000045704551
O.P.R.R.C.T.

BLOCK "A"
ORIG. TOWN OF ROCKWALL
VOL. F, PG. 510
O.P.R.R.C.T.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **NORTH ALAMO ADDITION** to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the **NORTH ALAMO ADDITION** have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purposes of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the city be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
- Property owner shall be responsible for all maintenance, repair, and replacement of detention and drainage systems on-site.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I (we), my (our) successors and assigns hereby waive any claim, damage, or action of cause that I (we) may have as a result of the dedication of exactions made herein.

STATE OF TEXAS:
COUNTY OF

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

Given upon my hand and seal of office this day of _____, 2022

Notary Public in and for the State of Texas
My commission expires _____

STATE OF TEXAS:
COUNTY OF

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

Given upon my hand and seal of office this day of _____, 2022

Notary Public in and for the State of Texas
My commission expires _____

GENERAL NOTES:

- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and suitability for water for personal use and the protection within such plat, as required under Ordinance 23-54.
- BEARINGS ARE BASED ON SIX READINGS OF TEXAS COORDINATE SYSTEM OF 1983 (NAD83), NORTH CENTRAL ZONE (4202)
- THE PROPERTY SHOWN HEREON IS LOCATED WITHIN THE FOLLOWING FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) ZONES AS DEPICTED ON THE FLOOD INSURANCE RATE MAP (FIRM) No. 48297-0489 L ZONE X DATED 9-26-2006:
ZONE X - AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

OWNERS CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Bryan Jones, is the owner of all that tract of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT No. 14 City of Rockwall, Rockwall County, Texas, being recorded in Instrument No. 2021000021151, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.) and also being a portion of Block 15B, of the AMICK ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas, (UNRECORDED), and being more particularly described by notes and bounds as follows:

BEGINNING at the most northerly northeast corner of said Jones tract, same being the southeast corner of the Pamela Tucker tract as recorded in Volume 5505, Page 88 of said Public Records and being on the west right of way line of North Alamo Road (a variable width right of way), a 1/2 inch iron rod found for corner;

THENCE S 00°14'32" W, along said west right of way line, a distance of 121.59 feet to the northeast corner of the B & J Investments, LLC tract as recorded in Instrument No. 2021000020949 of said Public Records, a 3/8 inch iron rod found for corner;

THENCE along the common line of said Jones tract and said B & J tract the following 3 courses and distances:

- N 89°37'39" W, a distance of 100.00 feet to a 3/8 inch iron rod found for corner;
- S 00°09'18" E, a distance of 63.00 feet to a 1/2 inch iron rod found for corner;
- S 89°37'39" E, a distance of 96.00 feet to a 5/8 inch iron rod with cap stamped "MAYO-WRIGHT" set (5/8CIRS) for corner on said west right of way line of North Alamo;

from the development.

THENCE S 01°52'53" W, along said west right of way line, a distance of 200.00 feet to the northeast corner of the Replat of Lots 7 & 8, Block A as recorded in Instrument No. 2011000045704551 of said Public Records;

THENCE S 89°17'24" E, along the common line of said Jones tract and said Replat, passing the northwest corner of said replat at a distance of 104.21 and continuing along the north line of Olive Street (unimproved) a total distance of 241.02 feet to a southerly northeast corner of the HIGHWOOD ADDITION 1ST SECTION, as recorded in Instrument No. 1955009900031 of said Public Records, a 5/8CIRS for corner;

THENCE S 87°39'53" W, along the common line of said Jones tract and said HIGHWOOD ADDITION, a distance of 11.97 feet to a 5/8CIRS for corner;

THENCE N 00°00'55" W, continuing along said common line, a distance of 377.10 feet to the southwest corner of said Tucker tract, a steel bolt found for corner;

THENCE N 88°57'07" E, along the common line of said Jones tract and said Tucker tract, a distance of 254.91 feet to the POINT OF BEGINNING and containing 92,890 Square Feet or 2.1325 acres of land within these metes and bounds as recited.

SUBVEYORS CERTIFICATE:

That I, Brian C. Wright do hereby certify that I prepared this plat from an actual on the ground survey of the land and that the corner monuments shown thereon were placed under my personal supervision

FOR REVIEW PURPOSES ONLY.

Brian C. Wright Registered Professional Land Surveyor No. 4590

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

Rockwall County Judge _____ Date _____

CITY SIGNATURE BLOCK

Planning & Zoning Commission, Chairman Date _____

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, on the _____ day of _____, 2022

Mayor, City of Rockwall _____ City Secretary _____

City Engineer _____

FINAL PLAT
NORTH ALAMO ADDITION
2.1325 ACRES (92,890 S.F.)
BEING A REPLAT OF BLOCK 15B
OF THE AMICK ADDITION
(UNRECORDED)
B.F. BOYDSTUN SURVEY, A-14
CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS

PREPARED BY:



MAYO-WRIGHT CONSULTANTS
123 SHENANDOAH COURT
FORNEY, TEXAS 75126
972-346-5203

PREPARED FOR:
BRYAN JONES
802 BARRYMORE DR.
ROCKWALL, TX. 75087

WWW.MAYO-WRIGHT.COM
TBPLS FIRM No.: 10194516

PREPARED 03-15-2022 PROJECT # 220033

RECORDED:
CABINET _____ SLEEVE _____



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: May 10, 2021

APPLICANT: John and Rita Canavan

CASE NUMBER: Z2022-016; *Zoning Change from Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1 (SF-1) District*

SUMMARY

Hold a public hearing to discuss and consider a request by John and Rita Canavan for the approval of a Zoning Change from a Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1 (SF-1) District for a five (5) acre tract of land identified as Lot 5 of the Mustang Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 714 Clem Road, and take any action necessary.

BACKGROUND

The City Council approved *Ordinance No. 04-35* annexing the subject property into the City on May 17, 2004 [Case No. A2004-002]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On September 4, 2004, the subject property was rezoned [Case No. Z2004-026; *Ordinance No. 04-49*] from an Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is a ~1944 SF home that constructed in 1960. No changes have occurred on the subject property since it was annexed and rezoned in 2004.

PURPOSE

On April 14, 2022, the applicants – *John and Rita Canavan* -- submitted an application requesting to change the zoning of the *subject property* from a Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1 (SF-1) District. The purpose of this request is to accommodate the future subdivision of the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 714 Clem Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) lots zoned Single-Family Estate 4.0 (SFE-4.0) District (*i.e. Tract 3 [9.09-acres] and 3-01[8.34-acres] of the J. E. Sherwood Survey, Abstract No. 193*). North of this is the Watson Estates Subdivision, which is zoned Planned Development District 72 (PD-72) for Single-Family Estate (SFE-4.0) District land uses and consists of three (3) lots on 11.66 acres. Beyond this are two (2), 5.87-acre tracts of land that are zoned Single-Family Estate 4.0 (SFE-4.0) District (*i.e. Tracts 5 and 5-3, of the J. E. Sherwood, Abstract No.193*). Beyond this is the Northcrest Estates 2 Addition, which consists of 14 lots on 14.37-acres. North of this are three (3) tracts of land zoned Agriculture (AG) District (*i.e. Tracts 1-02[12.125-acres], 1-01 [1.665-acres], and 3 [5.983-acres] of the J. E. Sherwood, Abstract No. 193*). North of these properties is North Country Lane, which is identified as an M4U (*i.e. major collector, four (4) lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Clem Road, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of Clem Road is the Northgate Subdivision, which is zoned Planned Development District 88 (PD-88) and consists of 40 residential lots on 62.45-acres. Beyond this is the corporate limits of the City of Rockwall followed by

several properties situated within the City's Extraterritorial Jurisdiction (ETJ) with single-family homes situated on them.

East: Directly east of the subject property are three (3), five (5) acre lots zoned Single-Family Estate 4.0 (SFE-4.0) District (i.e. Lots 2-4 of the Mustang Acres Addition). East of this is a 3.044-acre lot zoned Single-Family Estate 1.5 (SFE-1.5) District (i.e. Lot 1 of the Mustang Acres Addition). Beyond this is a 1.14-acre lot zoned Single-Family 1 (SF-1) District (i.e. Lot 1, Block A, Blueberry Hill Estate Addition). East of this property is Stodgehill Road, which is identified as a TXDOT 4D (i.e. Texas Department of Transportation, four (4) lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 101.43-acre tract of land zoned Agricultural (AG) District (i.e. Tract 4 of the J.M. Gass Survey, Abstract No. 88). Beyond this is the corporate limits of the City of Rockwall followed by several properties within the City's Extraterritorial Jurisdiction (ETJ) with single-family homes situated on them.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the five (5) acre parcel of land from a Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1 (SF-1) District for the purpose of subdividing the property into two (2) lots and constructing a single-family residential home on a portion of the larger tract. The existing single-family home will be situated on the smaller lot. It should be noted, that if this zoning change is approved, the applicant will be required to subdivide the subject property into two (2) buildable lots that are a minimum of one (1) acre each. It should also be noted, that if the applicant intends on utilizing an On-Site Sewage Facility (OSSF) the lots will be required to be a minimum of 1.50 acres in accordance with Division 5, *On-Site Sewage Facility*, of Chapter 44, *Utilities*, of the Municipal Code of Ordinances.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family 1 (SF-1) District is the proper zoning classification for larger, single-family lots that are a minimum of one (1) acre in size... (t)hese lots are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas, where they will serve as a logical transition to an estate or rural area." In this case, the majority of the properties adjacent to Clem are zoned Agricultural (AG) District, Single-Family Estate 4.0 (SFE-4.0) District, and Single-Family Estate 1.5 (SFE-1.5) District. Staff should point out that there is also one (1) property east of the subject property that is zoned Single-Family 1 (SF-1) District. In addition, south of the property, is a Planned Development District (i.e. PD-88) that allows for Single-Family 1 (SF-1) District land uses. Based on this, the requested zoning change does appear to conform to the surrounding area. If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for properties in a Single-Family 1 (SF-1) District, which are summarized as follows:

TABLE 1: SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT DEVELOPMENT STANDARDS

<i>Number of Dwelling Units/Lot</i>	1.0
<i>Number of Dwelling Units/Acre</i>	1.0
<i>Minimum Dwelling Unit</i>	2,500 SF
<i>Minimum Lot Area</i>	8,400 SF
<i>Minimum Lot Width</i>	70-Feet
<i>Minimum Lot Depth</i>	100-Feet
<i>Minimum Front Yard Setback</i>	20-Feet
<i>Minimum Rear Yard Setback</i>	10-Feet
<i>Minimum Side Yard Setback</i>	6-Feet
<i>Between Buildings</i>	10-Feet
<i>Building Height</i>	36-Feet
<i>Maximum Lot Coverage</i>	45%
<i>Required Parking Spaces</i>	2

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northeast Residential District and is designated for Low Density Residential land uses. The Low Density Residential land use is defined as "...residential subdivisions that are two (2) units per gross acre or less ...". Based on this the proposed zoning change conforms to the Comprehensive Plan. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "...(p)reserve the City's current residential to non-residential land use ratio (i.e. 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ..." [Section 02.01; CH. 1; Page 1-1]. In this case, the proposed zoning change conforms to the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, which was designed around the desired 80%/20% land use ratio. Based on this the proposed zoning change does not affect the current residential to non-residential percentage.

NOTIFICATIONS

On April 26, 2022, staff notified 19 property owners and occupants within 500-feet of the subject property. Staff also notified the Nelson Creek Homeowner's Association (HOA), which is the only Homeowner's Association (HOA) or Neighborhood Group within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from a Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family Estate 1 (SF-1) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 714 Clem road

SUBDIVISION MUSTANG ACRES SUBDIVISION

LOT TRACT 5 BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING SF-1

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER JOHN CANAVAN

APPLICANT

CONTACT PERSON RITA CANAVAN

CONTACT PERSON

ADDRESS 714 CLEM ROAD

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP

PHONE 972-670-3461

PHONE

E-MAIL CANRCF@GMAIL.COM

E-MAIL

NOTARY VERIFICATION [REQUIRED]

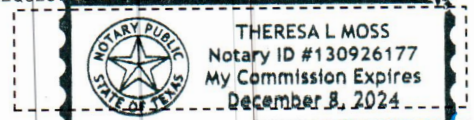
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John & Rita Canavan [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

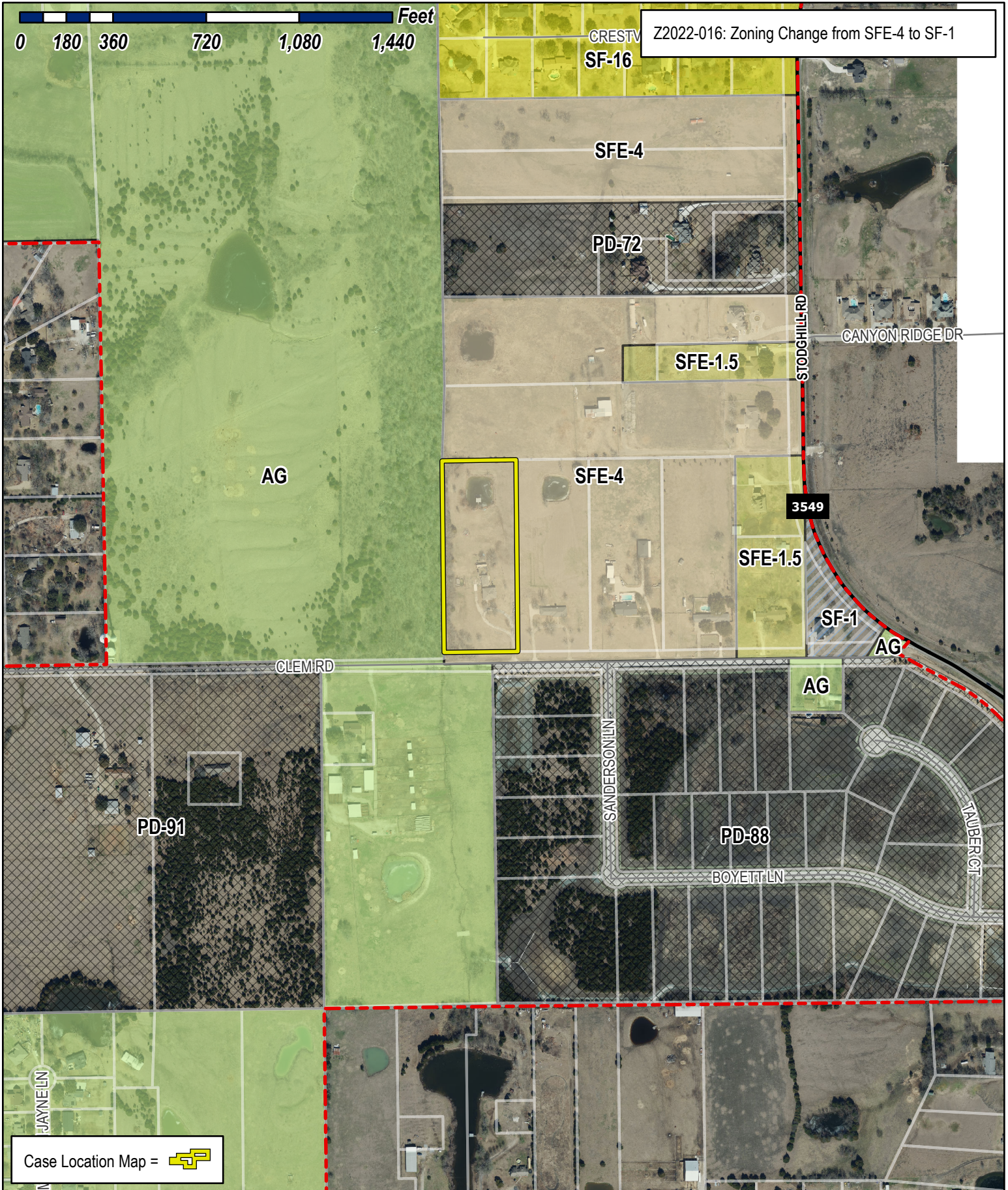
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF April, 2022

OWNER'S SIGNATURE Rita Canavan John Canavan

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Theresa L Moss



MY COMMISSION EXPIRES 12-08-2024



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

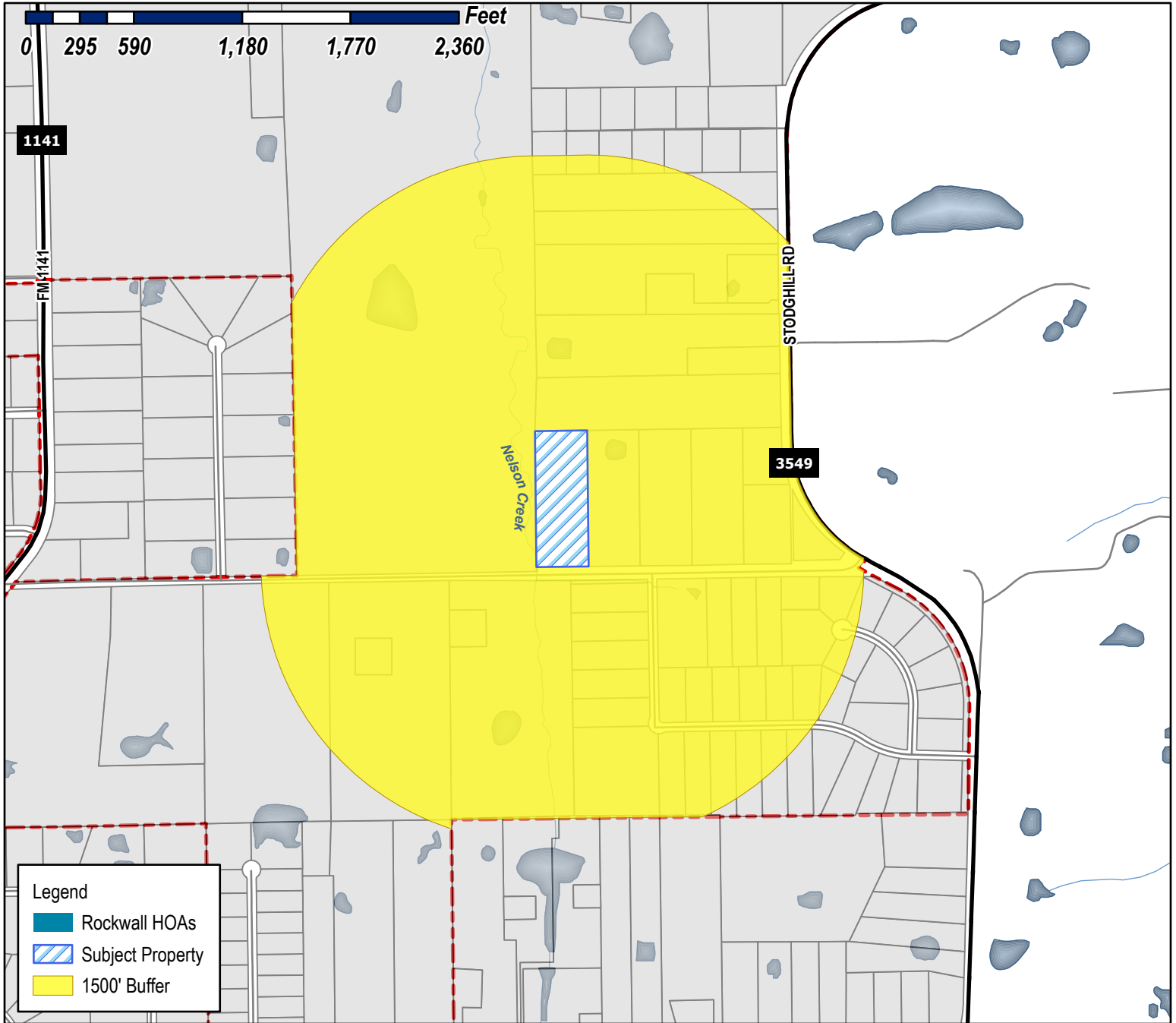




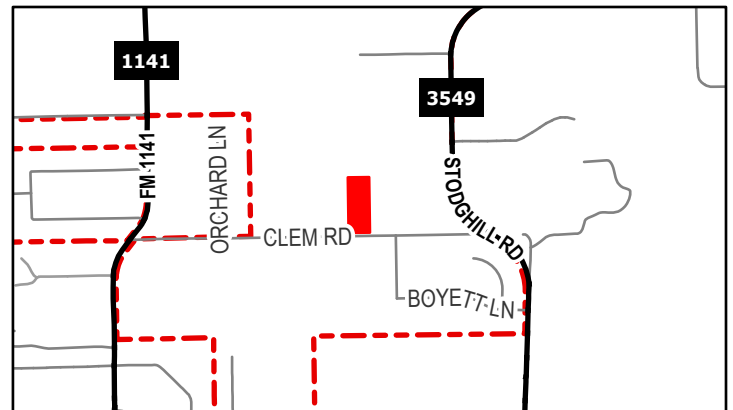
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2022-016
Case Name: Zoning Change from SFE-4 to SF-1
Case Type: Zoning
Zoning: Single-Family Estate 4
Case Address: 714 Clem Road



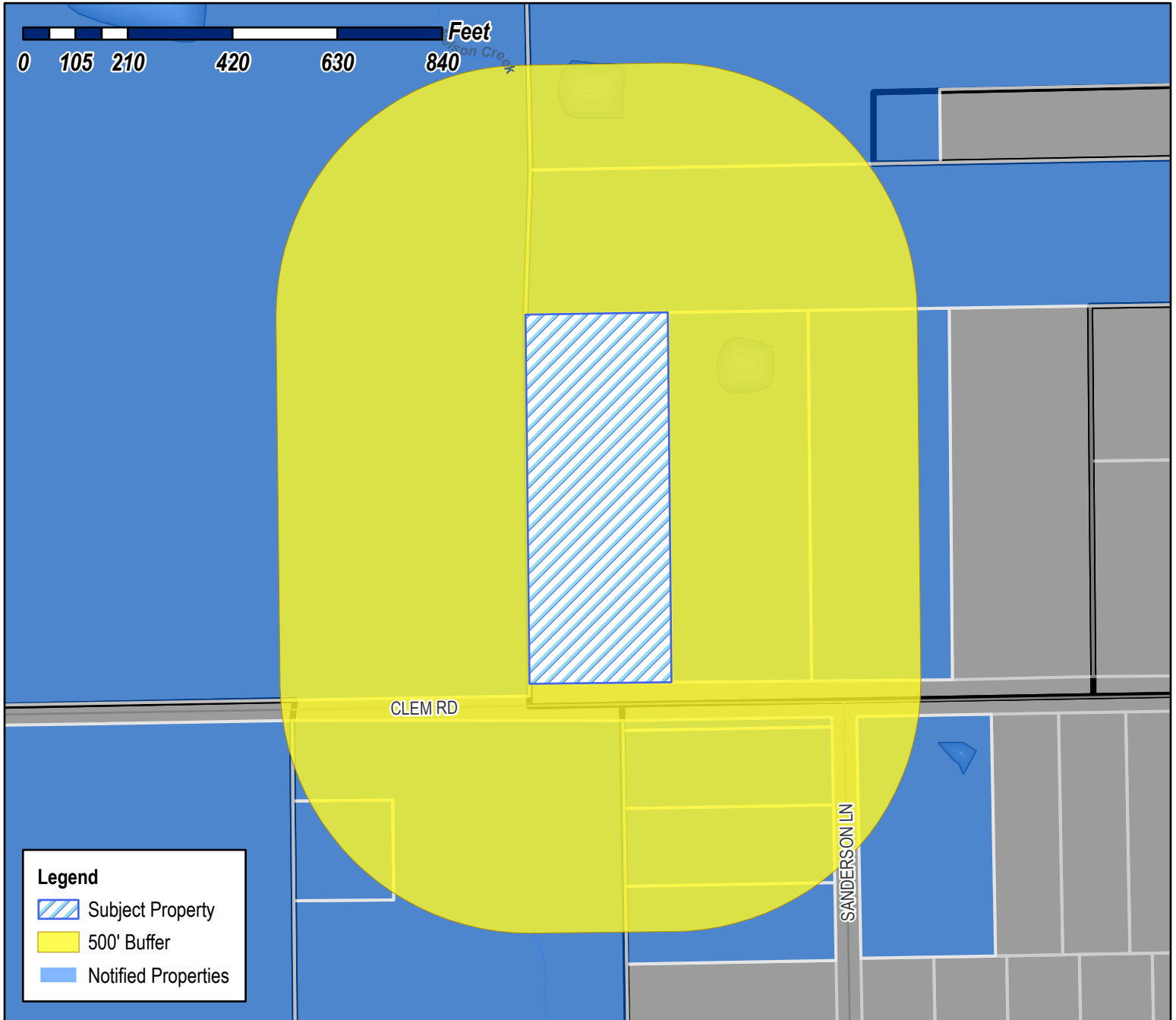
Date Saved: 4/12/2022
 For Questions on this Case Call (972) 771-7745



City of Rockwall

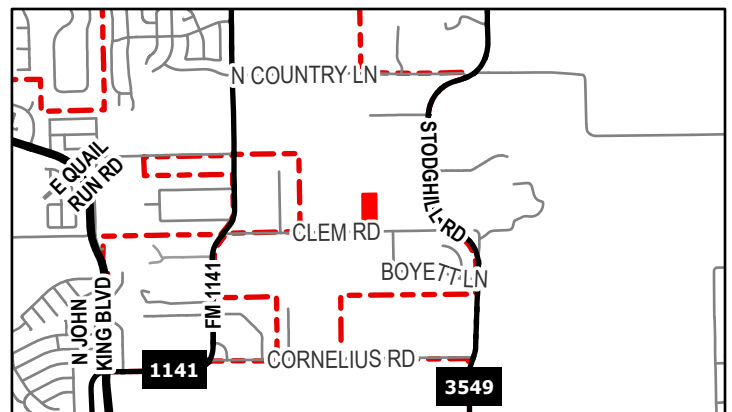
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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SWIATKIEWICZ CHRISTINE AND GABRIEL
1167 ROLLING MEADOW
LAVON, TX 75087

MCCALLUM CRAIG WILLIAM
1983 N STODGHILL RD
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
2030 CROSSWOOD LANE
IRVING, TX 75063

OWNBY MITCH AND SANDRA
2219 S ANDERSON LN
ROCKWALL, TX 75087

ARTERBURN ANDREW
2225 S ANDERSON LN
ROCKWALL, TX 75087

SWIATKIEWICZ CHRISTINE AND GABRIEL
2231 S ANDERSON LN
ROCKWALL, TX 75087

OWNBY MITCH AND SANDRA
255 COUNTRY CLUB DR
HEATH, TX 75032

CONNER KEVIN AND AMY
2652 N FM 3549
ROCKWALL, TX 75087

VALK JAMES WILLIAM JR & RENEE LUCILLE
BURNS
TRUSTEES OF JAMES WILLIMA VALK JR LIVING
TRUST
2730 FM 3549
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
379 N COUNTRY LN
ROCKWALL, TX 75087

FOGG GORDON C
505 CLEM RD
ROCKWALL, TX 75087

ARTERBURN ANDREW
605 HIGHLAND DRIVE
ROCKWALL, TX 75087

MCCALLUM CRAIG WILLIAM
611 CLEM RD
ROCKWALL, TX 75087

CANAVAN JOHN P & RITA
714 CLEM RD
ROCKWALL, TX 75087

BELL SALLY REDDICK
768 CLEM RD
ROCKWALL, TX 75087

SHLENSKY HOWARD J & DARLA A
820 CLEM RD
ROCKWALL, TX 75087

BENEDETTO MATTHEW AND STEPHANIE
835 CLEM RD
ROCKWALL, TX 75087

BENEDETTO MATTHEW AND STEPHANIE
907 W HOLIDAY ROAD
ROCKWALL, TX 75087

FOGG GORDON C
PO BOX 842
ROCKWALL, TX 75087

11 NORTHEAST RESIDENTIAL DISTRICT

↑ NORTHERN ESTATES DISTRICT (PAGE 1-24)

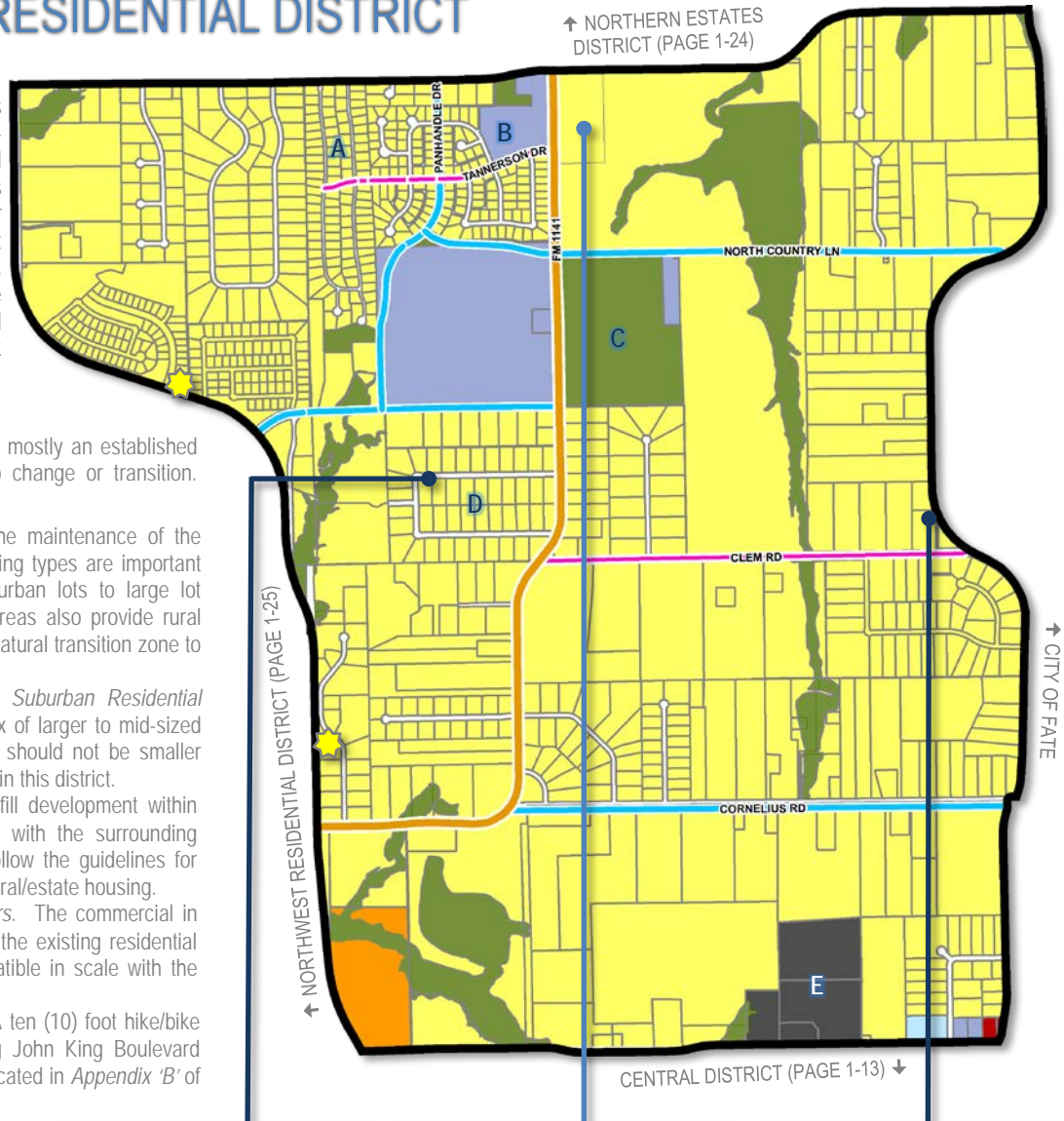
DISTRICT DESCRIPTION

The *Northeast Residential District* is characterized by its established low-density residential subdivisions and rural/estate style lots. This district is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development. In addition, the City currently owns a large tract of land that will be a northern community park and serve this district in the future.

DISTRICT STRATEGIES

The *Northeast Residential District* being mostly an established residential district, is not anticipated to change or transition. The strategies for this district are:

- 1 **Estate and Rural Residential.** The maintenance of the *Estate and Rural Residential* housing types are important to balancing the diversity of suburban lots to large lot housing within the City. These areas also provide rural reserves for the City and create a natural transition zone to the east, towards FM-3549.
- 2 **Suburban Residential.** Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district.
- 3 **Infill Development.** Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for low density, suburban housing or rural/estate housing.
- 4 **Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- 5 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



POINTS OF REFERENCE

- A. Stoney Hollow Subdivision
- B. Celia Hays Elementary School
- C. North Country Lane Park
- D. Saddlebrook Estates Subdivision
- E. Resthaven Funeral Home

LAND USE PALETTES

- Current Land Use
- Future Land Use

★ John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

BUILD OUT
 1,964
 5,794

% OF ROCKWALL
 3.13%
 0.99%
 3.10%

CURRENT
 625
 18
 1,844



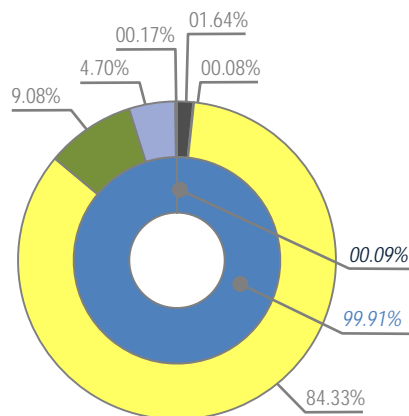
2 Current Suburban Residential



2 Future Suburban Residential



1 Current Rural Residential



■ MINOR COLLECTOR	0.00%
■ M4U	0.00%
■ M4D	0.00%
■ COMMERCIAL	0.09%
■ RESIDENTIAL	99.91%
■ MIXED USE	0.00%
■ CEMETERY (CEM)	32.34-ACRES
■ COMMERCIAL/RETAIL (CR)	1.52-ACRES
■ LOW DENSITY RESIDENTIAL (LDR)	1,658.33-ACRES
■ PARKS AND OPEN SPACE (OS)	178.54-ACRES
■ PUBLIC (P)	92.45-ACRES
■ QUASI-PUBLIC (QP)	3.25-ACRES

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY 1 (SF-1) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	SINGLE FAMILY 1 (SF-1) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Private Horse Corral or Stable	(10)	(6)	S
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	(1)	(1)	P
Residential Garage	(7)	(4) & (5)	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	(8)	(6)	A
Home Occupation	(9)	(7)	P
Portable Building	(15)	(10)	P
Residential Infill in an Established Subdivision	(16)	(11)	S
Single-Family Detached Structure	(18)	(13)	P
Private Swimming Pool	(20)		A
Private Tennis Court	(21)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Church/House of Worship	(4)	(2)	S
Daycare with Seven (7) or More Children	(9)	(4)	S
Group or Community Home	(11)	(5)	P
Public or Private Primary School	(21)	(7)	S
Public or Private Secondary School	(22)	(8)	S
Temporary Education Building for a Public or Private School	(23)	(9)	S
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	(4)		S
Private Country Club	(5)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	(25)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	(18)	(6)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna, as an Accessory	(2)	(1)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY 1 (SF-1) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	SINGLE FAMILY 1 (SF-1) DISTRICT
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Railroad Yard or Shop	(14)		S
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM A SINGLE-FAMILY ESTATE 4.0 (SFE-4.0) DISTRICT TO A SINGLE-FAMILY 1 (SF-1) DISTRICT FOR A FIVE (5) ACRE TRACT OF LAND IDENTIFIED AS LOT 5 OF THE MUSTANG ACRES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from John and Rita Canavan for the approval of a *Zoning Change* from an Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1 (SF-1) District for a five (5) acre tract of land identified as Lot 5 of the Mustang Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 4.0 (SFE-4.0) District, addressed as 714 Clem Road, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Single-Family Estate 4.0 (SFE-4.0) District to a Single-Family 1 (SF-1) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family 1 (SF-1) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, and Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JUNE, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 16, 2022

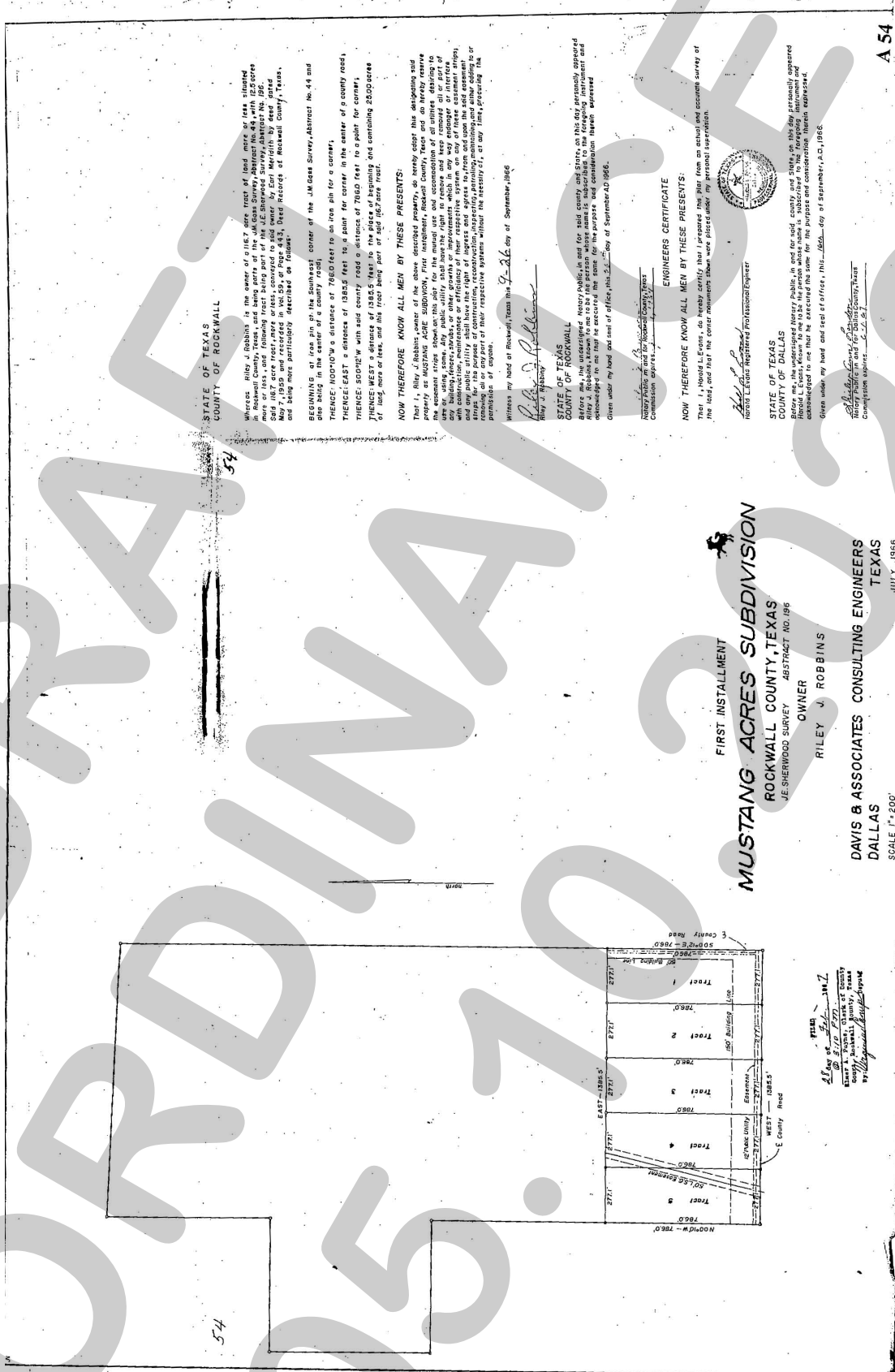
2nd Reading: June 6, 2022

Exhibit 'A'
Legal Description

Legal Description: A Five (5) Acre Tract of Land Identified as Lot 5 of the Mustang Acres Addition
Addressed As: 714 Clem Road



Exhibit 'B'
Survey



STATE OF TEXAS
COUNTY OF ROCKWALL

Whereas Riley J. Robbins is the owner of 187 1/2 acres of land, more or less, situated in the County of Rockwall, State of Texas, and following tract being part of the J.E. Sherwood Survey, Abstract No. 196, said 187 1/2 acre tract more or less, as shown on the plat hereof, and the same is being divided into five tracts, each of 786.0 acres, and being more particularly described as follows:

BEGINNING at the corner of the section in the corner of the J.E. Sherwood Survey, Abstract No. 196 and containing 786.0 acres of land, more or less, and thence S89°10'00" W a distance of 786.0 feet to an iron pin for a corner;
THENCE EAST a distance of 1385.5 feet to a plain for corner in the center of a county road,
THENCE SOUTH with said county road a distance of 786.0 feet to a point for corner,
THENCE WEST a distance of 1385.5 feet to the place of beginning and containing 786.0 acres of land, more or less, and the tract being part of said 187 1/2 acre tract.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:
That I, Riley J. Robbins, owner of the above described property, do hereby certify that the above and foregoing plat is a true and correct copy of the original plat as recorded in the public records of the County of Rockwall, State of Texas, and I hereby certify that the same is being divided into five tracts, each of 786.0 acres, and being more particularly described as follows:
Tract 1, 786.0 acres, more or less, being the portion of the above described property, and containing 786.0 acres, more or less, and being more particularly described as follows:
BEGINS at the corner of the section in the corner of the J.E. Sherwood Survey, Abstract No. 196 and containing 786.0 acres of land, more or less, and thence S89°10'00" W a distance of 786.0 feet to an iron pin for a corner;
THENCE EAST a distance of 1385.5 feet to a plain for corner in the center of a county road,
THENCE SOUTH with said county road a distance of 786.0 feet to a point for corner,
THENCE WEST a distance of 1385.5 feet to the place of beginning and containing 786.0 acres of land, more or less, and the tract being part of said 187 1/2 acre tract.

Witness my hand at Rockwall, Texas this 4th day of September, 1966.
Riley J. Robbins
Riley J. Robbins
STATE OF TEXAS
COUNTY OF ROCKWALL
J.E. Sherwood Survey, Abstract No. 196
Riley J. Robbins, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, given under my hand and seal of office, this 4th day of September, A.D. 1966.

ENGINEERS CERTIFICATE
NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:
That the above and foregoing plat is a true and correct copy of the original plat as recorded in the public records of the County of Rockwall, State of Texas, and I hereby certify that the same is being divided into five tracts, each of 786.0 acres, and being more particularly described as follows:
Tract 1, 786.0 acres, more or less, being the portion of the above described property, and containing 786.0 acres, more or less, and being more particularly described as follows:
BEGINS at the corner of the section in the corner of the J.E. Sherwood Survey, Abstract No. 196 and containing 786.0 acres of land, more or less, and thence S89°10'00" W a distance of 786.0 feet to an iron pin for a corner;
THENCE EAST a distance of 1385.5 feet to a plain for corner in the center of a county road,
THENCE SOUTH with said county road a distance of 786.0 feet to a point for corner,
THENCE WEST a distance of 1385.5 feet to the place of beginning and containing 786.0 acres of land, more or less, and the tract being part of said 187 1/2 acre tract.

STATE OF TEXAS
COUNTY OF DALLAS
Davis & Associates Consulting Engineers, Inc., a duly licensed professional engineering corporation, duly qualified to practice in the State of Texas, and the undersigned, R. J. Robbins, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, given under my hand and seal of office, this 4th day of September, A.D. 1966.
R. J. Robbins
Riley J. Robbins
Davis & Associates Consulting Engineers, Inc.
DALLAS, TEXAS

FIRST INSTALLMENT
MUSTANG ACRES SUBDIVISION
ROCKWALL COUNTY, TEXAS
J.E. SHERWOOD SURVEY ABSTRACT NO. 196
OWNER
RILEY J. ROBBINS

DAVIS & ASSOCIATES CONSULTING ENGINEERS
DALLAS TEXAS
SCALE 1" = 200'
JULY, 1966



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 10, 2022
APPLICANT: Kim Lemmond, *Dallas Towboys*
CASE NUMBER: Z2022-017; *Specific Use Permit for a Towing and Impound Yard at 227 National Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Kim Lemmond of Dallas Towboys for the approval of a Specific Use Permit (SUP) for a *Towing and Impound Yard* on a 1.8040-acre tract of land identified as Tract 2-8 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 227 National Drive, and take any action necessary.

BACKGROUND

According to the Rockwall County Appraisal District (RCAD) on the subject property is a 3,672 SF building that was constructed in 1985. The subject property was annexed by the City of Rockwall on August 30, 1999 [Case No. A1999-001] by Ordinance No. 99-33. On June 3, 2002, the City Council approved to rezone [Case No. PZ2002-036-01] the subject property from Agricultural (AG) District to Heavy Commercial (HC) District. On August 18, 2010 the subject property was issued a Commercial Building Permit [BLD2010-1077] to allow the construction of a R-panel and chain link fence. In 2016 the subject property was issued a Certificate of Occupancy [CO2016-0112] for a *Personal Office*.

Staff is obligated to note that in March 2022, the applicant came to speak to staff about acquiring a new Certificate of Occupancy (CO) for 227 National Drive for an *Office*. Upon reviewing aerials and the previously approved CO, which was for a *Personal Office*, it appeared that they were conducting their *Towing and Impound Yard* (i.e. *Dallas Towboys*) business on 227 National Drive. A *Towing and Impound Yard* requires a Specific Use Permit (SUP), which 291 National Drive (i.e. 227 & 291 National Drive are adjacent properties that the applicant both owns) has a SUP for this use. That being said the applicant confirmed with staff that 227 National Drive was also being used for the *Towing and Impound Yard*, which violated their CO. Staff informed the applicant that Code Enforcement would visit the property to ensure the *Towing and Impound Yard* did not operate on 227 National Drive until a SUP was approved.

PURPOSE

The applicant – *Kim Lemmond of Dallas Towboys*-- is requesting the approval of a Specific Use Permit (SUP) for a *Towing and Impound Yard* (i.e. *Dallas Towboys*) to operate on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 227 National Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) developed parcels of land (i.e. 117 National Drive and 2890 S. Goliad Street) zoned Heavy Commercial (HC) District. Beyond this is Mims Road, which is identified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 58.72-acre tract of land zoned for Commercial (C) District and Heavy Commercial (HC) District. Beyond this is S. Goliad Street, which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are three (3) developed parcels of land (i.e. 291, 311, & 355 National Drive) zoned Heavy Commercial (HC) District. Beyond this is Rise Drive, which is identified as a private roadway. Beyond this is a 23.27-acre tract of land developed with a 106,764 SF building zoned Commercial (C) District.

East: Directly east of the subject property are two (2) developed tracts of land (i.e. 2890 & 2930 S. Goliad Street) zoned Commercial (C) District and Heavy Commercial (HC) District. Beyond this is S. Goliad Street, which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Fire Station 4 (i.e. 2915 S. Goliad Street) and Ouida Springer Elementary (i.e. 3025 S. Goliad Street) zoned Planned Development District 10 (PD-10) for Public land uses.

West: Directly west of the subject property is National Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) developed tracts of land (i.e. 118, 178, 180, 182, 184, 242, 368, & 496 National Drive) zoned Heavy Commercial (HC) District. Beyond this is National Drive, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) developed tracts of land (i.e. 471, 495, 504, & 525 National Drive) zoned Heavy Commercial (HC) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and concept plan requesting a *Towing and Impound Yard* at 227 National Drive. The concept plan delineates that the storage of vehicles will take place at the rear of the property and will be screened by existing r-panel metal fencing. The concept plan also depicts the addition of seven (7) parking spaces on an improved surface (i.e. concrete) along the southern property line in front of the front façade of the existing building. Lastly the concept plan shows four (4) canopy trees and four (4) accent trees along National Drive. Ingress and egress for towed vehicles will either be through the existing gates on 227 National Drive or across 291 National Drive, which is the property that holds the original Certificate of Occupancy (CO) for the *Towing and Impound Yard* for Dallas Towboys.

CONFORMANCE WITH THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the *Towing and Impound Yard* land use requires a Specific Use Permit (SUP) in a Heavy Commercial (HC) District. The purpose of requiring a Specific Use Permit (SUP) for this land use in a Heavy Commercial (HC) District is tied to the fact that this land use is considered to be highly insensitive and may not be appropriate on all properties zoned Heavy Commercial (HC) District. According to the Unified Development Code (UDC), "(t)he Heavy Commercial (HC) District is commercial in nature, but has some aspects that are similar to industrial land uses. The zoning district allows noise, traffic, litter, late night hours, outside storage of materials and equipment, and other influences that could be harmful if directly adjacent to residential areas..." Based on the nature of the *Towing and Impound Yard* land use and its extensive outside storage of vehicles and late hours of operation, this land use was identified as needing discretionary oversight from the Planning and Zoning Commission and City Council. More simply stated, this land use may not be appropriate on all properties zoned Heavy Commercial (HC) District. In addition, Article 04, *Permissible Use Charts*, of the Unified Development Code (UDC) also requires that *Towing and Impound Yards* meet the all requirements that are specified in Article VI, *Wrecker and Towing Services*, of Chapter 12, *Businesses and Sales*, of the Municipal Code of Ordinances.

In this case the applicant's proposed concept plan appears to meet the requirements described in the Unified Development Code (UDC) and the requirements outlined in the Municipal Code of Ordinance. The majority of the requirements outlined in the Municipal Code of Ordinances for the applicant's proposed land use is related to operations and not site design. With this being said, the applicant will be required to meet all the operation requirements within the Municipal Code of Ordinances, and it shall be the responsibility of the Neighborhood Services Department to ensure continued compliance.

STAFF ANALYSIS

The applicant is requesting a *Towing and Impound Yard* land use, which had been operating on the subject property since approximately March 2015 without a valid Certificate of Occupancy (CO). The subject property is zoned Heavy Commercial

(HC) District and has industrial adjacencies. As mentioned in the *Background* of this memo, the applicant also owns 291 National Drive, which has a valid Certificate of Occupancy (CO) and an approved Specific Use Permit (SUP) [S-029] for *Towing and Impound Yard*. Staff should also note that many of the adjacent properties are also considered legally non-conforming or “(a) use, building or yard which does not, by reason of design, use or dimensions, conform to the regulations of the district in which it is situated.” (Article 13, *Definitions*, of the Unified Development Code). All that being said, the applicant’s request for a *Towing and Impound Yard* does not appear to be inconsistent with the adjacent land uses along National Drive.

Should the Planning and Zoning Commission choose to recommend approval of the applicant’s request staff has included conditions of approval described below and outlined within the *Draft Ordinance* contained in your packet. A Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

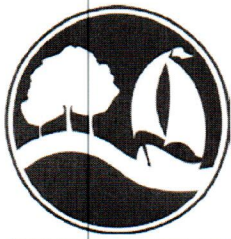
NOTIFICATIONS

On April 25, 2022, staff mailed 28 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Hickory Ridge and Hickory Ridge East Homeowners Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any returned notices in regard to the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) for a *Towing and Impound Yard* then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit ‘B’ of the Specific Use Permit (SUP) ordinance.
 - (b) All impounded vehicles shall be limited to a maximum of seventy-five (75) days of on-site storage.
 - (c) All impounded vehicles shall be stored behind a solid screening fence (*including the gates*) that conforms to the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) on the Subject Property. In addition, all impounded vehicles shall be stored behind the front façade of the building.
 - (d) The storage of boats, trailers, and tires shall be prohibited. Only towed vehicles may be stored on the subject property.
 - (e) The landscaping on the subject property shall be updated to meet the City’s minimum standards. Specifically, one (1) canopy and one (1) accent tree per 50-linear feet of frontage shall be installed and maintained in accordance with the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).
 - (f) The storage or impoundment of in-operable vehicles on the subject property shall be prohibited.
 - (g) A concrete parking lot with a capacity for seven (7) vehicles and conforming to the City’s standards shall be provided.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹</p> <p><input checked="" type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2} 227.06</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²</p> <p>NOTES:</p> <p>¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
---	--

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **227 National dr.**

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION **205/mims Industrial**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **warehouse/office** CURRENT USE **F1**

PROPOSED ZONING _____ PROPOSED USE **same plus storage/park/leisure**

ACREAGE **1.8040** LOTS [CURRENT] **same** LOTS [PROPOSED] **same**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER Kim Lemmond	<input checked="" type="checkbox"/> APPLICANT same
CONTACT PERSON Kim Lemmond	CONTACT PERSON _____
ADDRESS 227 National dr.	ADDRESS _____
CITY, STATE & ZIP Rockwall TX 75032	CITY, STATE & ZIP _____
PHONE 972.880.2828	PHONE _____
E-MAIL kimlemmond@me.com	E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

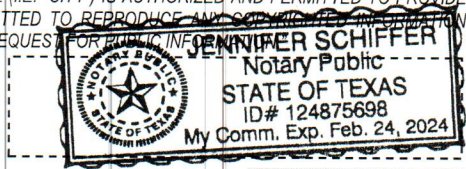
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kim Lemmond [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 227.06 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF April, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

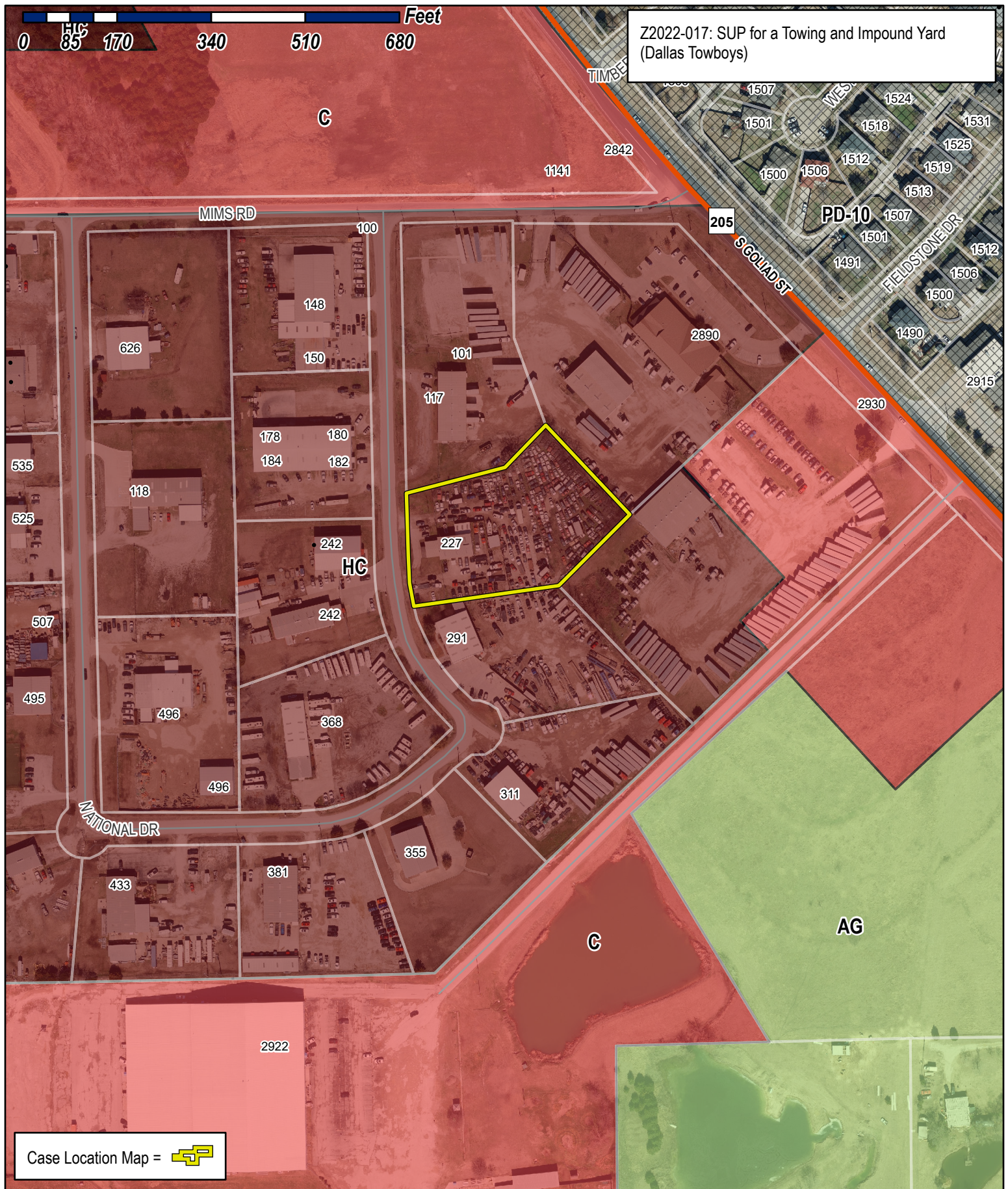
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF April, 2022

OWNER'S SIGNATURE Kim Lemmond

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES 02-24-2024



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

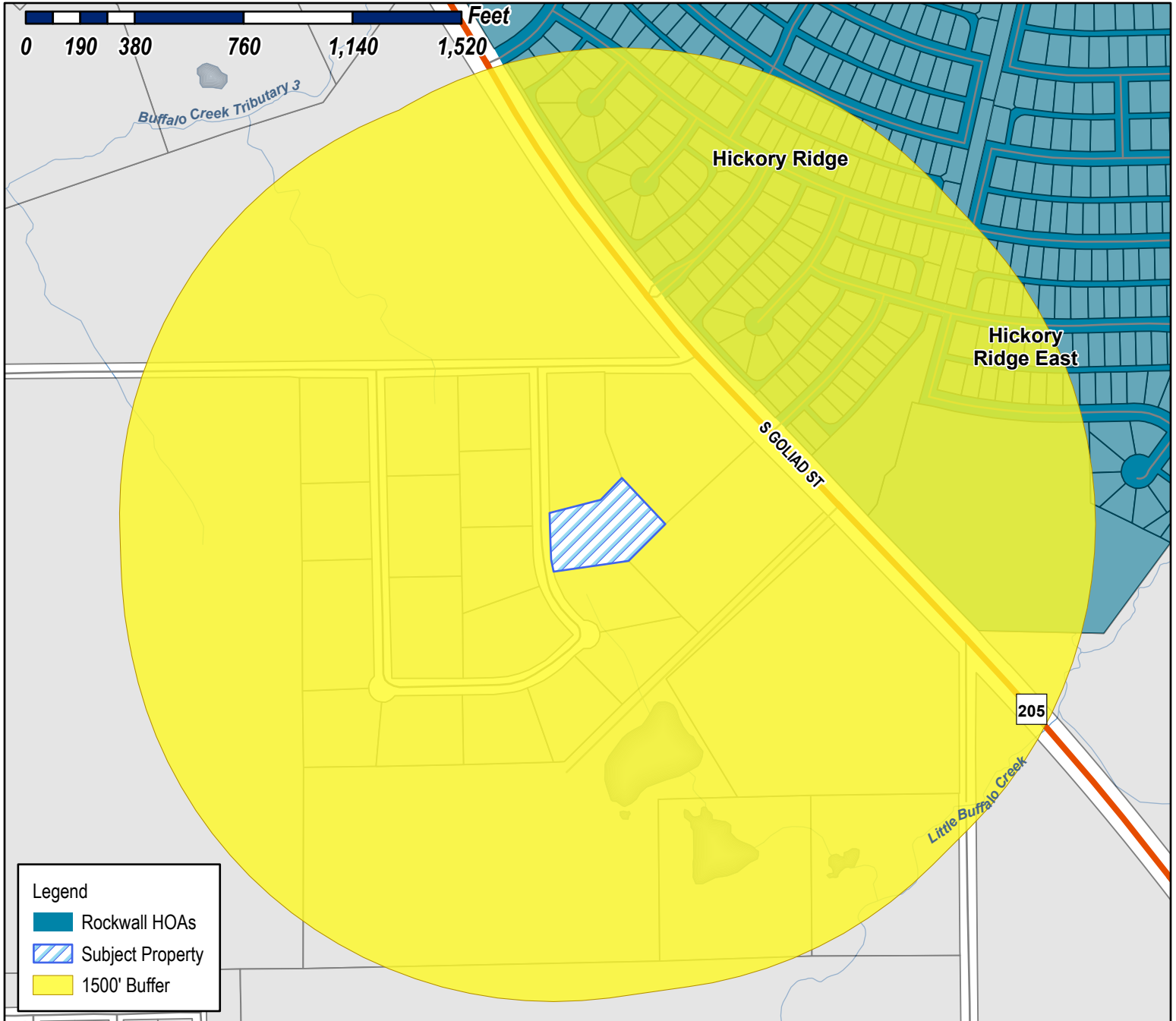




City of Rockwall

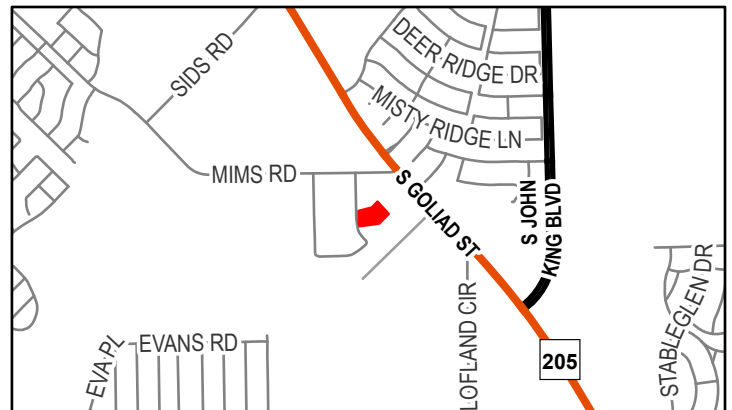
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Case Number: Z2022-017
Case Name: SUP for a Towing and Impound Yard (Dallas Towboys)
Case Type: Zoning
Zoning: Heavy Commercial (HC) District
Case Address: 227 National Drive

Date Saved: 4/12/2022
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Gamez, Angelica
Sent: Tuesday, April 26, 2022 8:38 AM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2022-017]
Attachments: Public Notice (04.20.2022).pdf; HOA Map (04.14.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on April 22, 2022. The Planning and Zoning Commission will hold a public hearing on Tuesday, May 10, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 16, 2022 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-017 SUP for a Towing and Impound Yard

Hold a public hearing to discuss and consider a request by Kim Lemmond of Dallas Towboys for the approval of a *Specific Use Permit (SUP)* for a *Towing and Impound Yard* on a 1.8040-acre tract of land identified as Tract 2-8 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 227 National Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

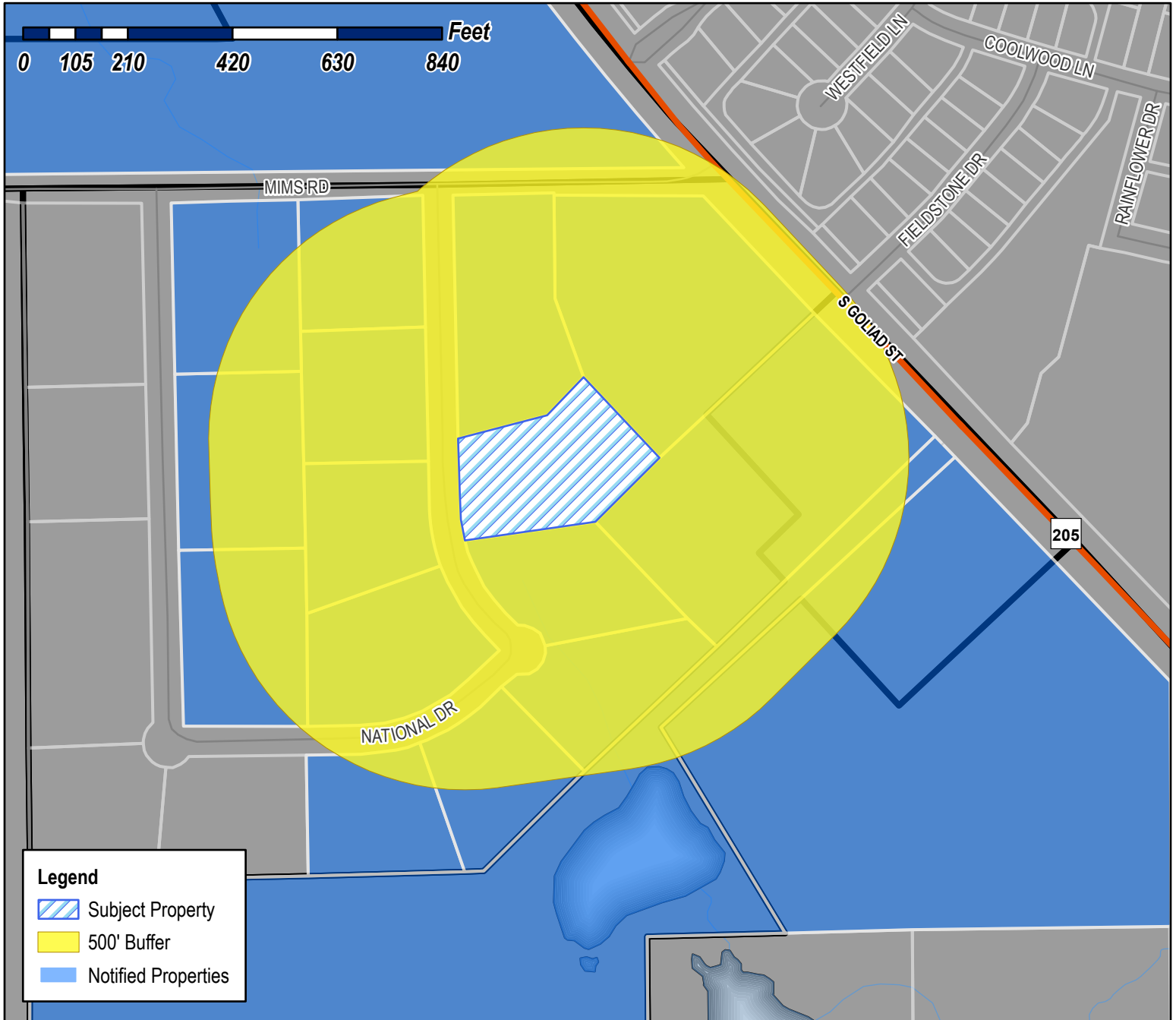
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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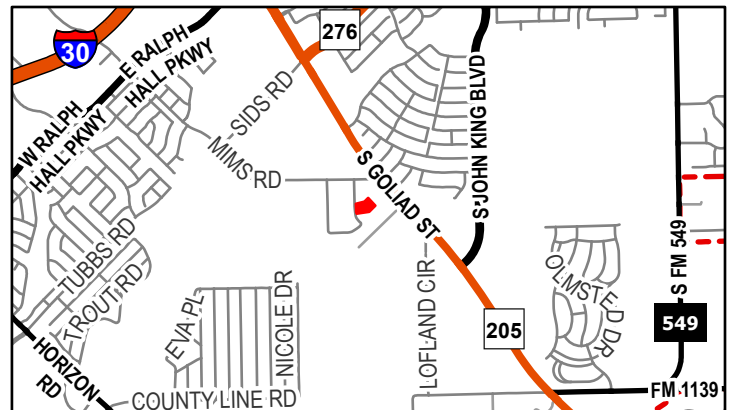


Legend

- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2022-017
Case Name: SUP for a Towing and Impound Yard (Dallas Towboys)
Case Type: Zoning
Zoning: Heavy Commercial (HC) District
Case Address: 227 National Drive

Date Saved: 4/12/2022
 For Questions on this Case Call (972) 771-7745



MCSWAIN BILLY
100 NATIONAL DR
ROCKWALL, TX 75032

EPES TRANSPORT SYSTEM LLC
101 NATIONAL DR
ROCKWALL, TX 75032

LEMMOND BRENTON & KIMBERLEY
10349 S STATE HIGHWAY 205
ROCKWALL, TX 75032

NABORS CHERYL ELAINE
1123 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SCOTTFREE INVESTMENTS LP
118 NATIONAL DR
ROCKWALL, TX 75032

MCSWAIN BILLY
148 NATIONAL DR
ROCKWALL, TX 75032

LAYZA LUIS &
RUBEN LUNA & JUDITH BARCELO & MINDY H
ZAMORA
1600 US HIGHWAY 80
MESQUITE, TX 75032

MILLER FAMILY INVESTMENT LP
17430 CAMPBELL RD STE 230
DALLAS, TX 75252

ASBURY MICHAEL & LEAANN
182 NATIONAL DR
ROCKWALL, TX 75032

LEMMOND BRENTON & KIMBERLY
227 NATIONAL DR
ROCKWALL, TX 75032

SEYMORE TIM & RAY SEYMORE
242 NATIONAL DR
ROCKWALL, TX 75032

EPES TRANSPORT SYSTEM LLC
2890 S GOLIAD
ROCKWALL, TX 75032

LEMMOND BRENTON & KIMBERLEY
291 NATIONAL DR
ROCKWALL, TX 75032

LAYZA LUIS &
RUBEN LUNA & JUDITH BARCELO & MINDY H
ZAMORA
2922 S HWY 205
ROCKWALL, TX 75032

NABORS CHERYL ELAINE
311 NATIONAL DR
ROCKWALL, TX 75032

EPES TRANSPORT SYSTEM LLC
3400 EDGEFIELD CT
GREENSBORO, NC 27408

GADDIS ROY F FAMILY TRUST
ROY F GADDIS TRUSTEE
355 NATIONAL DR
ROCKWALL, TX 75032

D & A REAL ESTATE PARTNERS LTD
368 NATIONAL DR
ROCKWALL, TX 75032

GROUP 1 REALTY INC
381 NATIONAL DR
ROCKWALL, TX 75032

BIG BUCK PROPERTIES LLC
496 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENTS LP
519 E INTERSTATE 30 #511
ROCKWALL, TX 75087

GADDIS ROY F FAMILY TRUST
ROY F GADDIS TRUSTEE
6 BRIGHT MEADOWS ROAD
HEATH, TX 75032

JACOBS DAVID RAY
626 NATIONAL DR
ROCKWALL, TX 75032

GROUP 1 REALTY INC
800 GESSNER SUITE 500
HOUSTON, TX 77024

ASBURY MICHAEL & LEAANN
PO BOX 1012
ROCKWALL, TX 75087

BIG BUCK PROPERTIES LLC
PO BOX 2107
ROCKWALL, TX 75087

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75093

D & A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-017: SUP for a Towing and Impound Yard

Hold a public hearing to discuss and consider a request by Kim Lemmond of Dallas Towboys for the approval of a Specific Use Permit (SUP) for a Towing and Impound Yard on a 1.8040-acre tract of land identified as Tract 2-8 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 227 National Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 10, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 16, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 16, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-017: SUP for a Towing and Impound Yard

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2022-017: SUP for a Towing and Impound Yard

Hold a public hearing to discuss and consider a request by Kim Lemmond of Dallas Cowboys for the approval of a Specific Use Permit (SUP) for a Towing and Impound Yard on a 1.8040-acre tract of land identified as Tract 2-8 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 227 National Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 10, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 16, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 16, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-017: SUP for a Towing and Impound Yard

Please place a check mark on the appropriate line below:

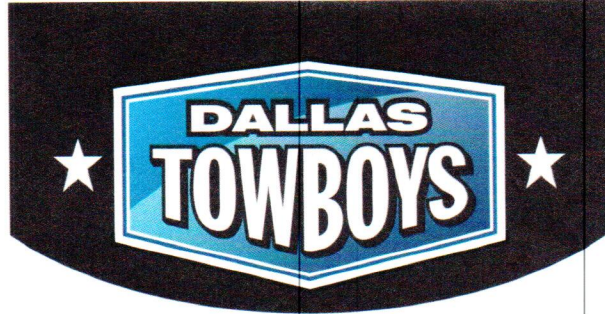
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

THEY ARE ALREADY IN THE AREA - NO PROBLEMS IF THEY WANT TO EXPAND.

Name: Roy F. GADDIS TRUSTEE
Address: 355 NATIONAL DR. ROCKWALL, TX 75032

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



April 8, 2022

Attn Planning and Zoning – Rockwall Texas

My name is Kim Pittman Lemmond, owner of 227 National Drive Rockwall Texas 75032. I currently own the property 227 and 291 National Dr. since around 2006. We have conducted the Dallas Towboys business at 291 and 227 since we purchased both properties. The property at 227 and 291 has been storing vehicles and have had a SUP permit for a storage facility since we submitted to city around the 2006 – 2008-time frame. I was under the impression we were legal for storing at 227. While contacting the city to update my current CO with a new company name, I found out that the SUP was for 291. I am now requesting for the SUP be for 227 as well.

Thank you

Kim Pittman Lemmond

Pittman Logistics LLC dba Dallas Towboys Sales and Service

National Dr

30971

KEY

- Canopy Tree 
- Accent Tree 
- Parking 19'x9' 

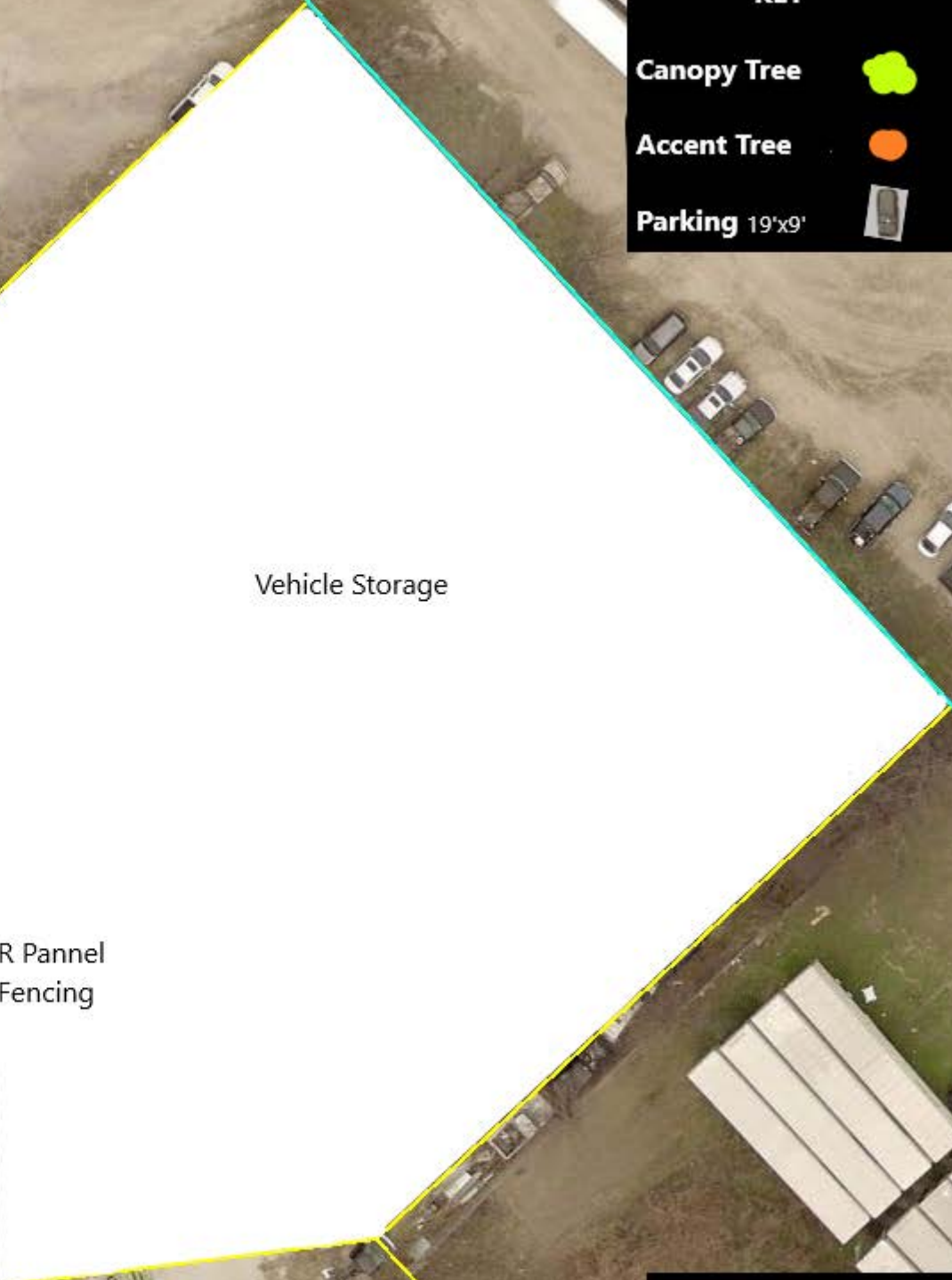
Vehicle Storage

R Pannel
Fencing

Wrecker Parking

227 National

Z2022-017



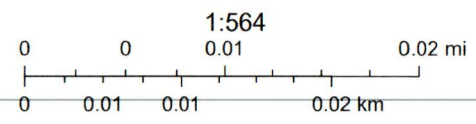
291

Rockwall CAD Web Map



4/8/2022, 6:48:31 PM

- Streets
- Parcel



Rockwall CAD Web Map

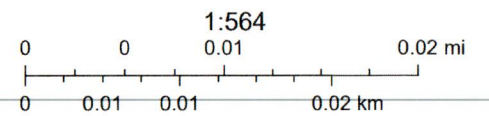


4/8/2022, 3:32:43 PM

227 National

— Streets

Parcel

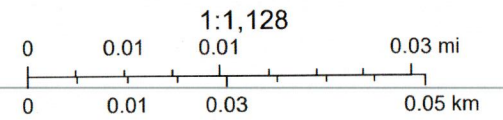


Rockwall CAD Web Map



4/8/2022, 3:29:21 PM

- Streets
- Parcel





City of Rockwall
The New Horizon

\$75.00 Payable to the City of Rockwall upon notice of approved C.O.

Building Inspections Dept: (972) 771-7709
Inspection Request: (972) 771-7760
Fire Department: (972) 771-7770
Health Inspector: (214) 202-1202

Application for Certificate of Occupancy

Date: 10-6-16

C.O. No: C02016-0112

This Application must be completed in full, signed and dated prior to being processed.

Name of Business: Dallas Towboys Telephone: 214-221-8697

Address of Business: 227 National dr.

Business Owner Name: Kim Lemmond Telephone: _____

Email: kima@dallastowboys.com Cell: 972-880-2878

Business Owner's Address: 10349 S. State Hwy 205 Rockwall TX 75087
Street /PO Box City State Zip

Property Owner Name: Kim Lemmond Telephone: _____

Property Owner's Address: Same
Street /PO Box City State Zip

Proposed use: Personal office Total Square Footage: approx. 1300
(Restaurant, Retail, Office, Warehouse, Etc.) Office Square Footage: _____

Previous use: Rental Retail Area Square Footage: _____

Storage or Warehouse Square Footage: _____

Will your business have a trash dumpster? no Kitchen Square Footage: _____

Other Square Footage: _____

Any proposed manufacturing to be conducted? Yes No If yes, explain: _____

Are there adjoining businesses? Yes No If yes, what type: _____

Is the building equipped with an automatic sprinkler system? Yes No

Any storage of materials? Yes No If yes, what type: _____

Will there be any outside storage or display? Yes No If yes, explain: _____

of employees: 1 Projected opening date: _____

Restaurants: Will alcohol be served? Yes No
If yes, you must provide us with a copy of your TABC license before a C.O. will be issued.

Circle all applicable: New Tenant in Existing Building
Expanding Lease Space
Same Business Name, New Owner
Same Owner, New Business Name
Shell Building (No Occupancy)
New Interior

Printed name: Kim Lemmond

Signature: Kim Lemmond Date: 10/6/16

Signing this application does not authorize occupancy of the space and/or structure. It is unlawful to use, occupy, or permit the use or occupancy of a building until a C.O. is issued.

Lee, Henry

From: Widmer, Jeffrey
Sent: Friday, May 4, 2018 4:09 PM
To: Pallares, Gabe
Subject: C.O. needed

Here's the code reference.

Specific violation: Failure to allow occupancy of your building without obtaining the required certificate of occupancy as required by the City's Code of Ordinance #16-32 Section 10-116, and specifically the city's adopted 2015 International Building Code,

SECTION 111 CERTIFICATE OF OCCUPANCY which states:

[A] 111.1 Use and occupancy.

A building or structure shall not be used or occupied, and a change in the existing use or occupancy classification of a building or structure or portion thereof shall not be made, until the building official has issued a certificate of occupancy therefor as provided herein. Issuance of a certificate of occupancy shall not be construed as an approval of a violation of the provisions of this code or of other ordinances of the jurisdiction.

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *TOWING AND IMPOUND YARD* ON A 1.804-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2-8 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kim Lemmond of Dallas Towboys for the approval of a Specific Use Permit (SUP) to allow for a *Towing and Impound Yard* on a 1.804-acre tract of land identified as Tract 2-8 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 227 National Drive, and being more specifically depicted and described in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Towing and Impound Yard* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial District Standards*, and Subsection 04.06, *Heavy Commercial (HC) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and Article VI, *Wrecker and Towing Services*,

of Chapter 12, *Businesses and Sales*, of the Municipal Code of Ordinances -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Towing and Impound Yard* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of the Subject Property shall generally conform to the Concept Plan as depicted in Exhibit 'B' of this ordinance.
- (2) All impounded vehicles shall be limited to a maximum of seventy-five (75) days of on-site storage.
- (3) All impounded vehicles shall be stored behind a solid screening fence (*including the gates*) that conforms to the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) on the *Subject Property*. In addition, all impounded vehicles shall be stored behind the front façade of the building.
- (4) The storage of boats, trailers, and tires shall be prohibited. Only towed vehicles may be stored on the subject property.
- (5) The landscaping on the subject property shall be updated to meet the City's minimum standards. Specifically, one (1) canopy and one (1) accent tree per 50-linear feet of frontage shall be installed and maintained in accordance with the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).
- (6) The storage or impoundment of in-operable vehicles on the subject property shall be prohibited.
- (7) A concrete parking lot with a capacity for seven (7) vehicles and conforming to the City's standards shall be provided.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JUNE, 2022.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 16, 2022

2nd Reading: June 6, 2022

Exhibit 'A'
Location Map

Address: 227 National Drive

Legal Description: Tract 2-8 of the J. R. Johnson Survey, Abstract No. 128

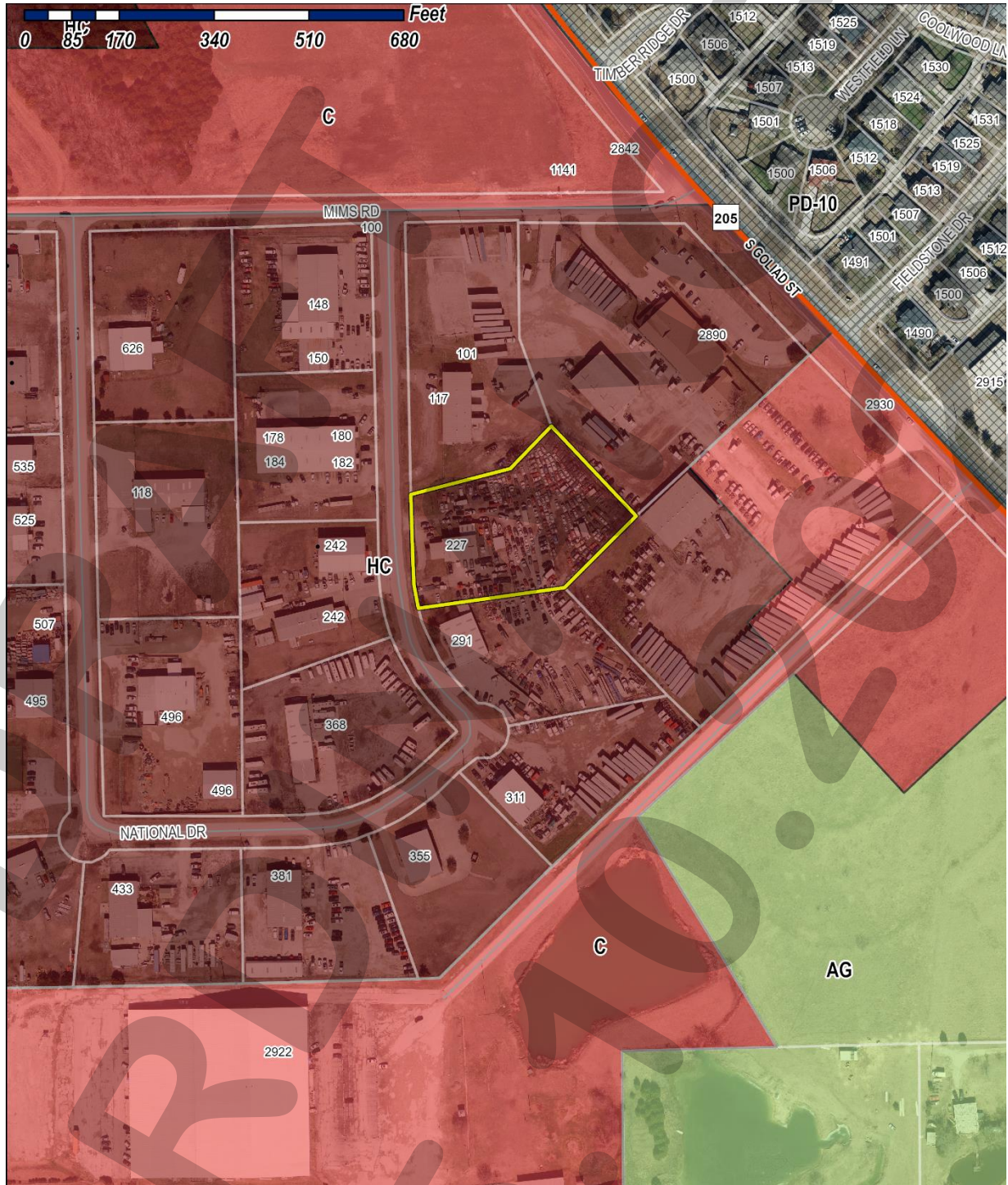


Exhibit 'B'
Concept Plan





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 10, 2022
APPLICANT: Carlos and Crystal Solis
CASE NUMBER: Z2022-018; *Specific Use Permit for an Accessory Building at 2914 FM-549*

SUMMARY

Hold a public hearing to discuss and consider a request by Carlos and Crystal Solis for the approval of a Specific Use Permit (SUP) for an Accessory Building on a 3.02-acre parcel of land identified as Lot 7R of the Lofland Estates No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 2.0 (SFE-2.0) District, addressed as 2914 FM-549, and take any action necessary.

BACKGROUND

On July 21, 1997, the City Council approved *Ordinance No. 97-14 [Case No. A1997-001]* annexing the subject property in to the City of Rockwall. Based on the City's historic zoning maps, the subject property was zoned Single-Family Estates 2.0 (SFE-2.0) District as of April 5, 2005. On October 1, 2001, the City Council approved a replat [*Case No. PZ2001-93-01*] for Lots 7 & 8, Lofland Lake Estates No. 2 Addition. On October 1, 2018, the City Council approved *Ordinance No. 18-41 [Case No. Z2018-035]* to allow for the construction of a 25-foot by 35-foot (*or 875 SF*) metal detached garage on the subject property. According to the Rockwall Central Appraisal District (RCAD), there is a 2,933 SF single-family home situated on the subject property that was constructed in 2001.

PURPOSE

The applicants -- *Carlos and Crystal Solis* -- are requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a second *Accessory Structure* that exceeds the overall maximum allowable square footage as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2914 FM-549. The land uses adjacent to the subject property are as follows:

- North: Directly north of the subject property are several single-family homes, which are part of the Lofland Lake Estates, Phase 2 Subdivision. The properties are zoned Single-Family Estate 2.0 (SFE-2.0) District. Beyond this are several single-family homes that are part of Lofland Lake Estates, Phase 1 Subdivision. This area is zoned Single-Family Estate 4.0 (SFE-4.0) District.
- South: Directly south of the subject property is FM-549, which is identified as a TXDOT 4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a large vacant tract of land that is zoned Commercial (C) District.
- East: Directly east of the subject property is S. FM-549, which is identified as a TXDOT 4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a large vacant tract of land that is zoned Agricultural (AG) District.

West: Directly west of the subject property is a vacant tract of land zoned Agricultural (AG) District, and a single-family home zoned Single-Family Estate 2.0 (SFE-2.0) District. Beyond this is a single-family residential subdivision (*i.e. Somerset Park Phase 1*) zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, survey, and building specifications proposing to construct a 16-foot by 24-foot (*or 384 SF*) accessory building on the subject property. There is already an existing detached garage that measures 25-feet by 35-feet (*or 875 SF*). At the Planning and Zoning Commission work session meeting the applicant indicated that they would be utilizing the accessory structure as a home office.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family Estates 2.0 (SFE-2.0) District allows a total of two (2) accessory structures. For accessory buildings, the Single-Family Estate 2.0 (SFE-2.0) District allows one (1) accessory building at 625 SF. In addition, if a property has an existing accessory building greater than 625 SF, no additional accessory buildings or structures shall be permitted. Accessory structures are limited to a maximum height of 15-feet. The setbacks for a detached garage in a Single-Family Estate 2.0 (SFE- 2.0) District are 20-feet from the rear property line and six (6) feet from the side yard property line. Accessory structures are also required to have a minimum of ten (10) feet of separation from any other building or structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [*and*] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

STAFF ANALYSIS

In this case, the applicant's request generally conforms to the building setbacks and height requirements for an accessory building; however, the secondary accessory structure does not adhere to the maximum allowable size. Specifically, the accessory structure will exceed the permitted 1,000 SF by 279 SF. Staff should point out that since this is an older area that was annexed into the City of Rockwall, there are several properties with accessory buildings that exceed the 1,000 SF requirement. Based on this the applicant's request would not set a precedent in the area. If the applicant's Specific Use Permit (SUP) is approved, staff has included an operational condition in the Specific Use Permit (SUP) ordinance stating that no additional accessory buildings would be permitted on the subject property. This means that a total of one (2) accessory buildings will be permitted on this property. Based on the proposed size and location of the secondary accessory building, staff should point out that this structure will have very limited visibility from the adjacent properties. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On April 25, 2022, staff mailed 12 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within the 1500-foot buffer participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back in regards to the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an Accessory Building, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:

- (a) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance.
 - (b) The accessory building shall not exceed a maximum size of 390 SF;
 - (c) The subject property shall not have more than one (2) accessory buildings;
 - (d) The accessory building shall not exceed a maximum overall SF of 1,275 SF;
 - (e) The accessory building shall not be operated as a commercial use; and,
 - (f) The accessory building is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22022-018

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS

2914 FM 549

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

3.02

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER

APPLICANT

CONTACT PERSON

Carlos Solis

CONTACT PERSON

Crystal Solis

ADDRESS

2914 FM 549

ADDRESS

2914 FM 549

CITY, STATE & ZIP

Rockwall TX 75032

CITY, STATE & ZIP

Rockwall TX 75032

PHONE

(972) 370-6776

PHONE

(469) 644-7966

E-MAIL

CSOLC@2707@gmail.com

E-MAIL

CSOLC@2707@gmail.com

NOTARY VERIFICATION (REQUIRED)

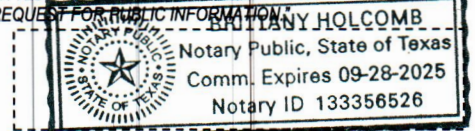
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Carlos Solis [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 245.30 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF April, 2022

OWNER'S SIGNATURE

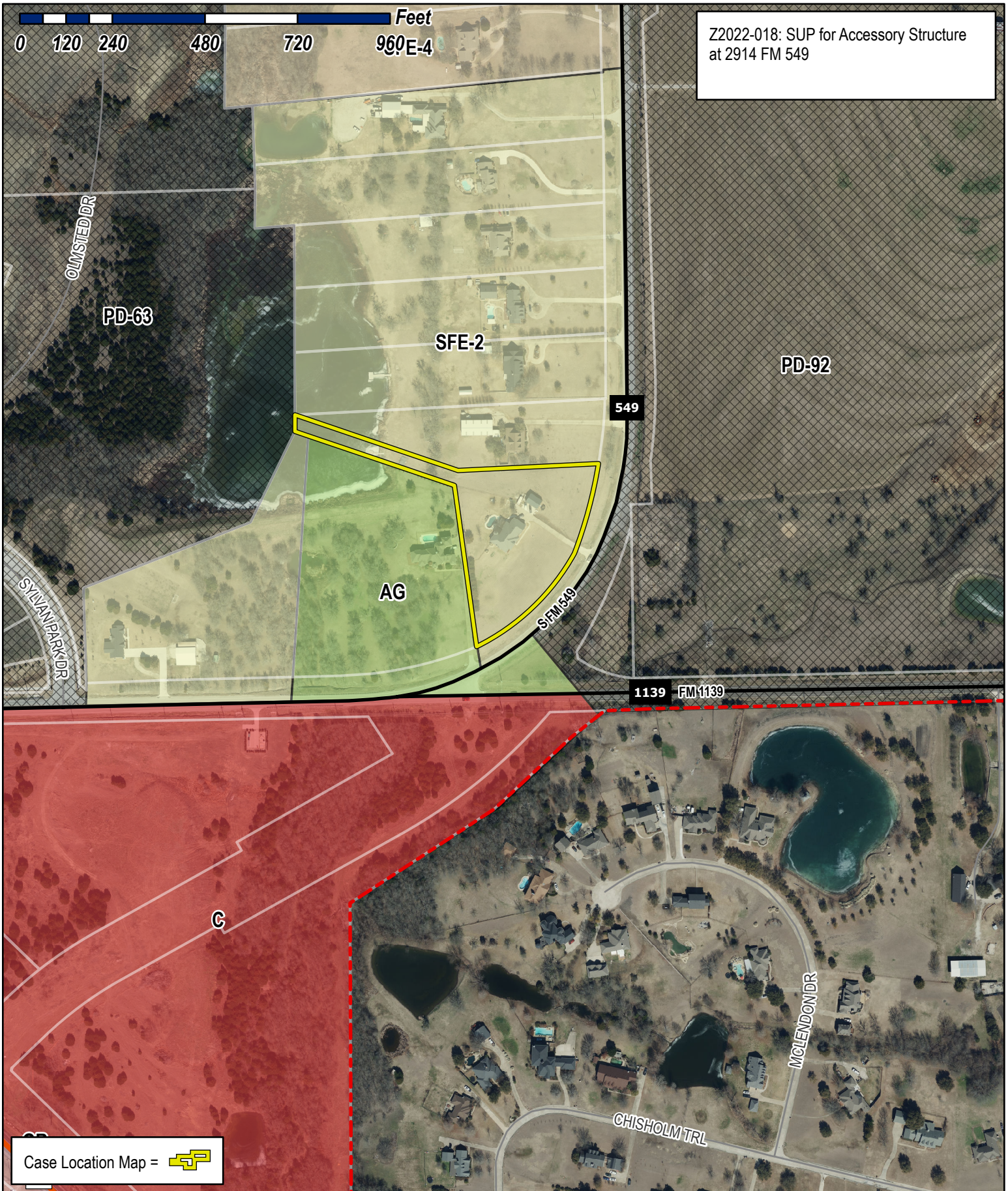
[Signature]




NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature] Brittany Holcomb

MY COMMISSION EXPIRES 09/24/2025



Z2022-018: SUP for Accessory Structure
at 2914 FM 549

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

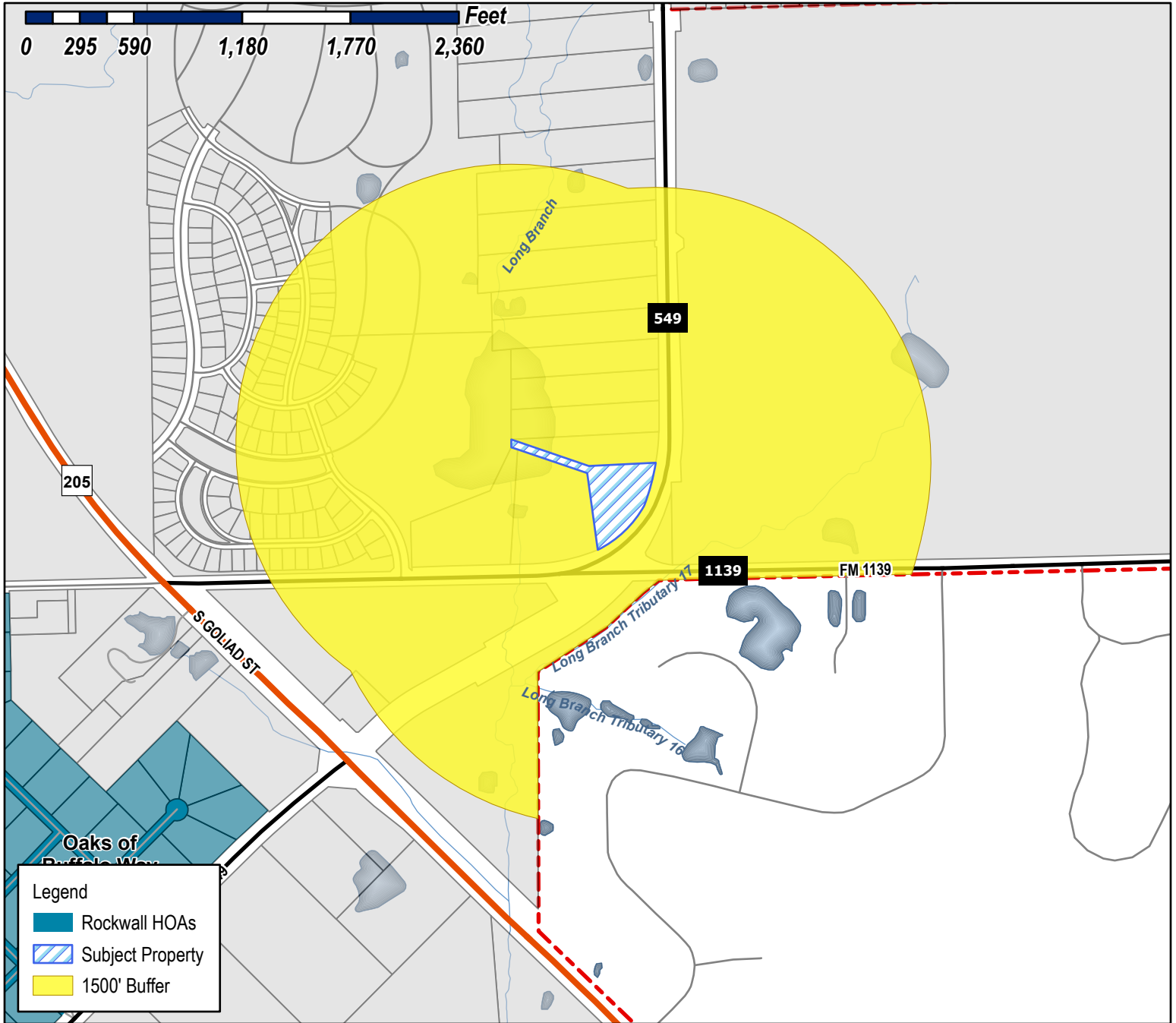




City of Rockwall

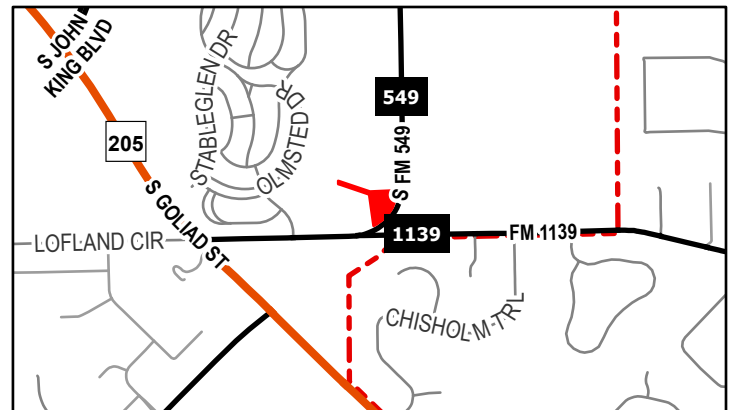
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-018
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family Estate 2 (SFE-2)
Case Address: 2914 FM 549

Date Saved: 4/12/2022
 For Questions on this Case Call (972) 771-7745





City of Rockwall

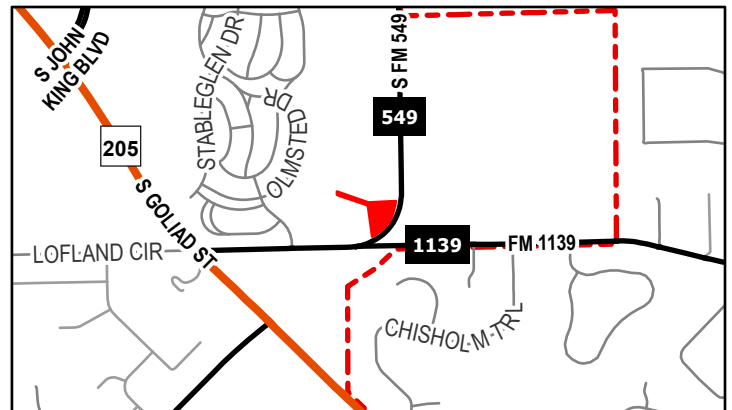
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ROCKWALL 205 INVESTORS LLC
1 CANDLELITE TRAIL
HEATH, TX 75032

KLUTTS FARM LLC
1604 NORTH HILLS DR
ROCKWALL, TX 75087

OHMANN THOMAS J & CAROL J
2744 S FM 549
ROCKWALL, TX 75032

HOLLON GREGORY D
2778 S FM 549
ROCKWALL, TX 75032

HERRERA AARON J AND JENNIFER R AND
FOREHAND DALE A AND AMELIA A
2816 FM 549
ROCKWALL, TX 75032

WELCH CASEY K AND CATHARINE
2844 S FM 549
ROCKWALL, TX 75032

PETTIFORD SEAN AND BRANDI
2884 FM 549
ROCKWALL, TX 75032

SOLIS CARLOS HERIBERTO AND CRYSTAL GARZA-
SOLIS
2914 FM 549
ROCKWALL, TX 75032

JONES DOUGLAS A
2994 FM 549
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
2994 S FM549
ROCKWALL, TX 75032

MARTINEZ JOSE DE JESUS LOPEZ
3401 FM 549
ROCKWALL, TX 75032

ARCADIA LAKES OF SOMERSET HOLDINGS LLC
3500 MAPLE AVENUE #1165
DALLAS, TX 75219

From: [Carlos Crystal Solis](#)
To: [Planning](#)
Date: Tuesday, April 12, 2022 2:14:35 PM
Attachments: [Utility Building Plans.pdf](#)
[2914 FM 549 Rockwall, Tx 75032 Survey.pdf](#)

To Whom it May Concern,

My husband and I moved to Rockwall in December 2019 for the great school district and to raise our family here. We would like to add a utility building on our property to use as an office that is detached from our home but is still on our property. We run a small business and since COVID started to office out of our home. We now have a 18 month old son and a 3 year old daughter who was diagnosed with Cerebal Palsy and epilepsy. She just started school in Rockwall ISD and being near her school and our home for work is becoming very important. Due to the traffic coming into Rockwall this will help avoid delays in pick up of our kids school and activities. The space desired for our office is 384 square feet. The exterior is to match the colors of our house. We hope that you can consider our request and approve the special use permit for our situation. If you have any questions please feel free to contact me anytime.

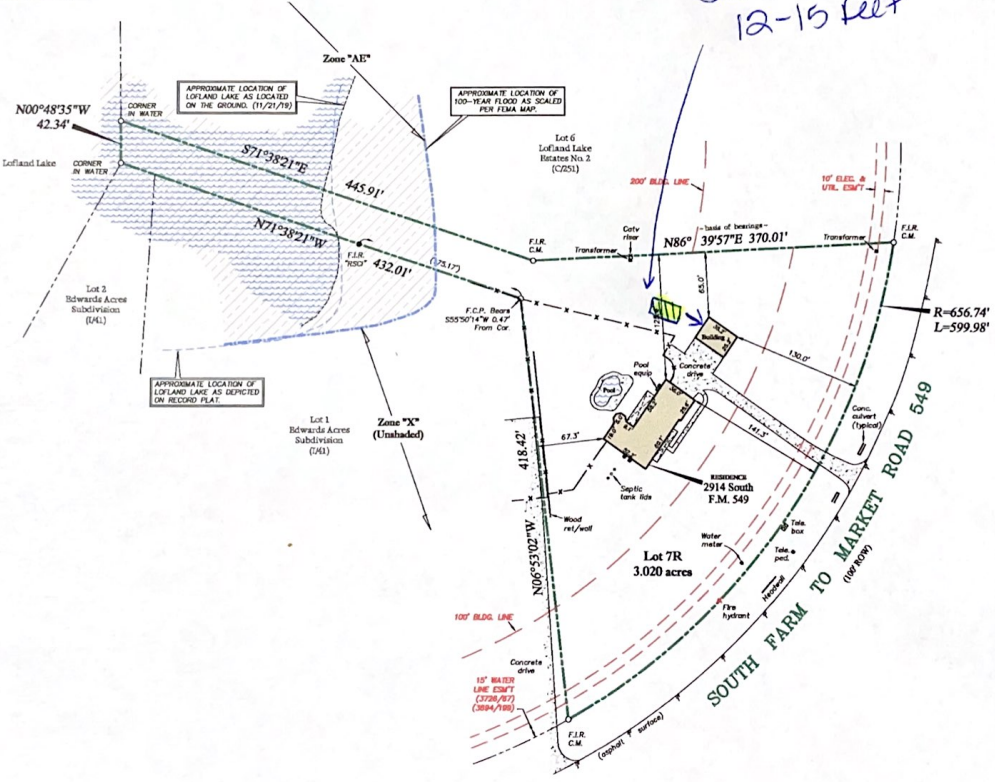
Sincerely,

Crystal Solis
2914 FM 549
Rockwall, Tx 75032

469-644-7966

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



PROPERTY DESCRIPTION: Lot 7R, LOFLAND LAKE ESTATES No. 2, Addition to Rockwall County, Texas according to the Plat thereof recorded in Cabinet K, Slide 127, Map Records, Rockwall, Texas.

Table with 2 columns: Field Name and Value. Includes Date (11/21/19), ASC No. (1911.3670), P.C./Tech (A.M./L.G.), Class (Designated Title), and G.P. No. (CRP794563).



Mailing Address: 2914 South F.M. 549, Rockwall, Texas

LEGEND: C.M. - Controlling Measure; F.I.R. - From Iron Rod; F.L.P. - From Iron Pipe; F.C.P. - From Concrete Pipe; C.O.D./Overhead Electric; U.L.R. - Under Road; L.P. - Above and below any proposed 'Arthur Surveying Company'. All found lines are 1/2" diameter unless otherwise noted.

FLOOD NOTE: It is my opinion that the property described herein is partially within the 100-year flood zone according to the Federal Emergency Management Agency Flood Insurance Rate Map Community # 48034-0401, (8814) L-1, (100-year Flood Zone) dated September 28, 2002, herein property situated within Zone "X" (Unshaded) and Zone "AE".

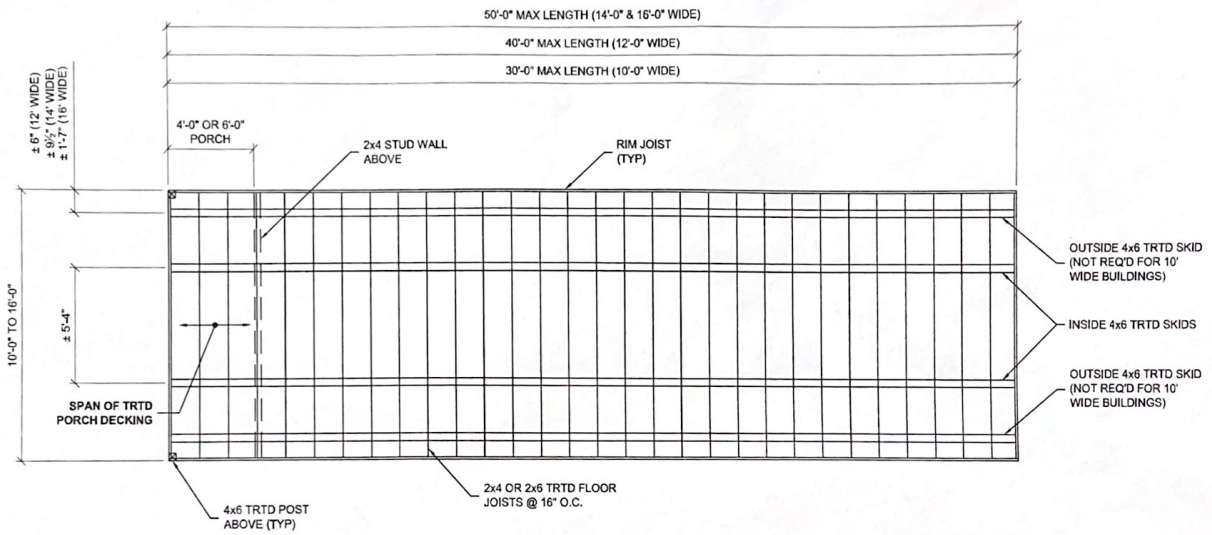
INSURERS CERTIFICATION: The undersigned does hereby certify that this survey was this day made on the ground of the property legally described herein and is correct, and to the best of my knowledge, there are no visible discrepancies, mistakes, omissions or errors, inaccuracy, or any other matter, notwithstanding all representations, statements or omissions of any kind, that I have been advised of or that in the absence of such material error or other matter otherwise stated.



ARTHUR LAND SURVEYING
228 Elm St., P.O. Box 10000, Carrollton, TX 75007
PH: 972.221.0000 FAX: 972.221.0000

Handwritten signature of the surveyor.

NOTE: Measurements as recorded in Vol. 31, Pg. 343, Vol. 1762, Pg. 146 and Vol. 31, Pg. 343 do not affect subject property to the best of my knowledge.



UTILITY CABIN FLOOR FRAMING PLAN (OPTIONAL)



UTILITY BUILDING--TEXAS--WIND=115 MPH--IBC 2015

PROJECT NO:	
DATE:	02-04-2019
DRAWN BY:	KLN
CHECKED BY:	KLN
REVISION:	

SHEET NUMBER	S-1.1-UB
SCALE:	

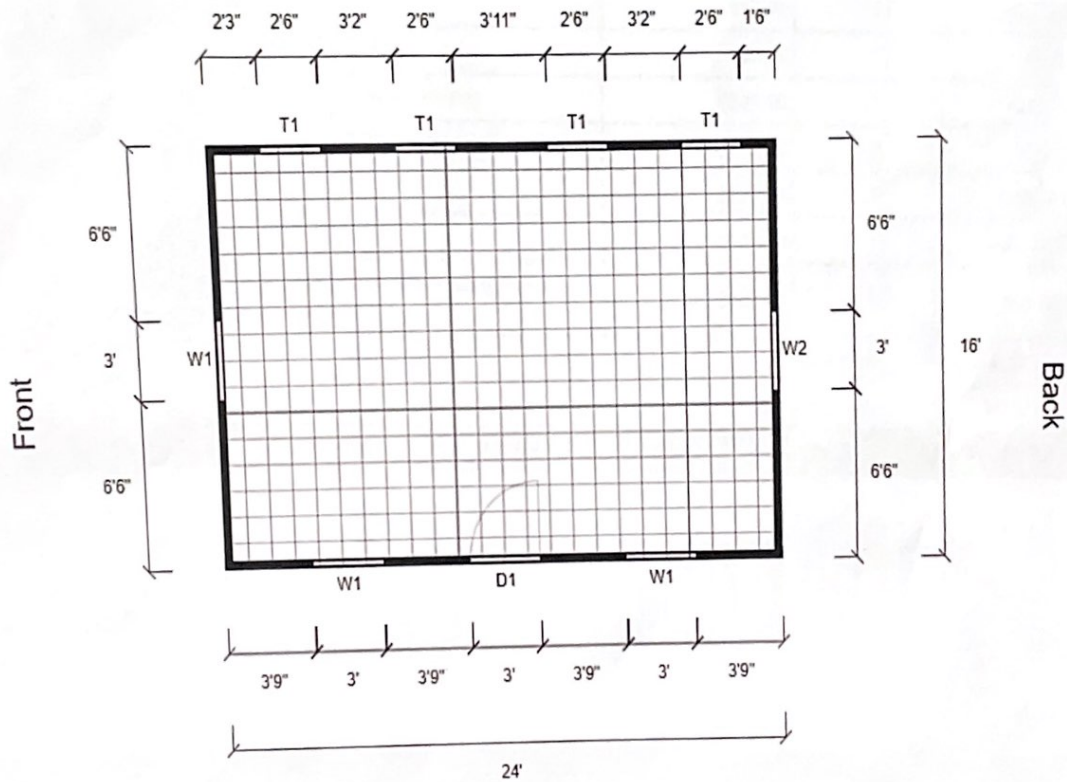


Side Utility 16 x 24

#1649711564298579



Left



Right

□ = 1ft

Customer Signature: _____

Date: _____

SYMBOL LEGEND			
	3' x 3' Thermal Pane Window		Transom
	3' x 5' Thermal Pane Window		36" Pre-Hung 9-Lite (Inswing)
	Closed Wall		



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-018

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
3401 S FM 549	Single-Family Home	2004	1,500	221	Metal
2994 S FM 549	Single-Family Home	2005	4,919	N/A	Brick
2914 FM 549	Single-Family Home	2001	2,933	875	Brick
2884 FM 549	Single-Family Home	1996	2,204	3600	Brick
2844 FM 549	Single-Family Home	1996	4,076	480	Brick
2816 S. FM 549	Single-Family Home	1995	2,543	N/A	Brick
2778 S FM 549	Single-Family Home	1997	2,734	720	Brick
2744 S FM 549	Single-Family Home	1997	2,105	120	Brick and Siding
2716 FM 549	Single-Family Home	1997	3,422	1968	Brick
2676 S FM 549	Single-Family Home	1995	2,791	N/A	Brick and Siding
2638 S FM 549	Single-Family Home	1998	2,753	2400	Brick
2592 FM 549	Vacant	N/A	N/A	N/A	N/A
	AVERAGES:	1998	2,907	1,298	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-018

PLANNING AND ZONING DEPARTMENT

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3401 S. FM 549



2994 S. FM 549



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-018

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



2914 S. FM 549



2884 FM 549



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-018

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



2844 FM 549



2816 S. FM 549



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-018

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



2778 S. FM 549



2744 S. FM 549



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-018

PLANNING AND ZONING DEPARTMENT

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2716 FM 549



2676 S. FM 549



CITY OF ROCKWALL

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PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



2638 S. FM 549



2592 FM 549

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR AN ACCESSORY BUILDING ON A 3.02-ACRE TRACT OF LAND ZONED SINGLE-FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT AND IDENTIFIED AS LOT 7R, LOFLAND LAKE ESTATES NO. 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Carlos and Crystal Solis for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum overall square footage permitted per lot as stipulated by the Unified Development Code (UDC), situated on a 3.02-acre tract of land, zoned Single-Family Estate 2.0 (SFE-2.0) District, and being identified as Lot 7R, Lofland Lake Estates No. 2 Addition, City of Rockwall, Rockwall County, Texas, addressed as 2914 S. FM-549, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the construction of a accessory building that does not conform to the minimum requirements for accessory buildings in a Single-Family Estate 2.0 (SFE-2.0) District as stipulated by Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Section 3.3, *Single Family Estate 2.0 (SFE-2.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall as

heretofore amended, as amended herein by the granting of this zoning change, and as my be amended in the future, and shall be subject to the additional following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an accessory building on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- 2) The accessory building shall not exceed a maximum size of 390 SF;
- 3) The subject property shall not have more than one (2) accessory buildings;
- 4) The accessory building shall not exceed a maximum overall SF of 1,275 SF;
- 5) The accessory building shall not be operated as a commercial use; and,
- 6) The accessory building is subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a *Building Permit*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF JUNE, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 16, 2022

2nd Reading: June 6, 2022

Exhibit 'A':
Location Map and Legal Description

Address: 2914 S. FM-549

Legal Description: Lot 7R of the Lofland Lake Estates No. 2 Addition

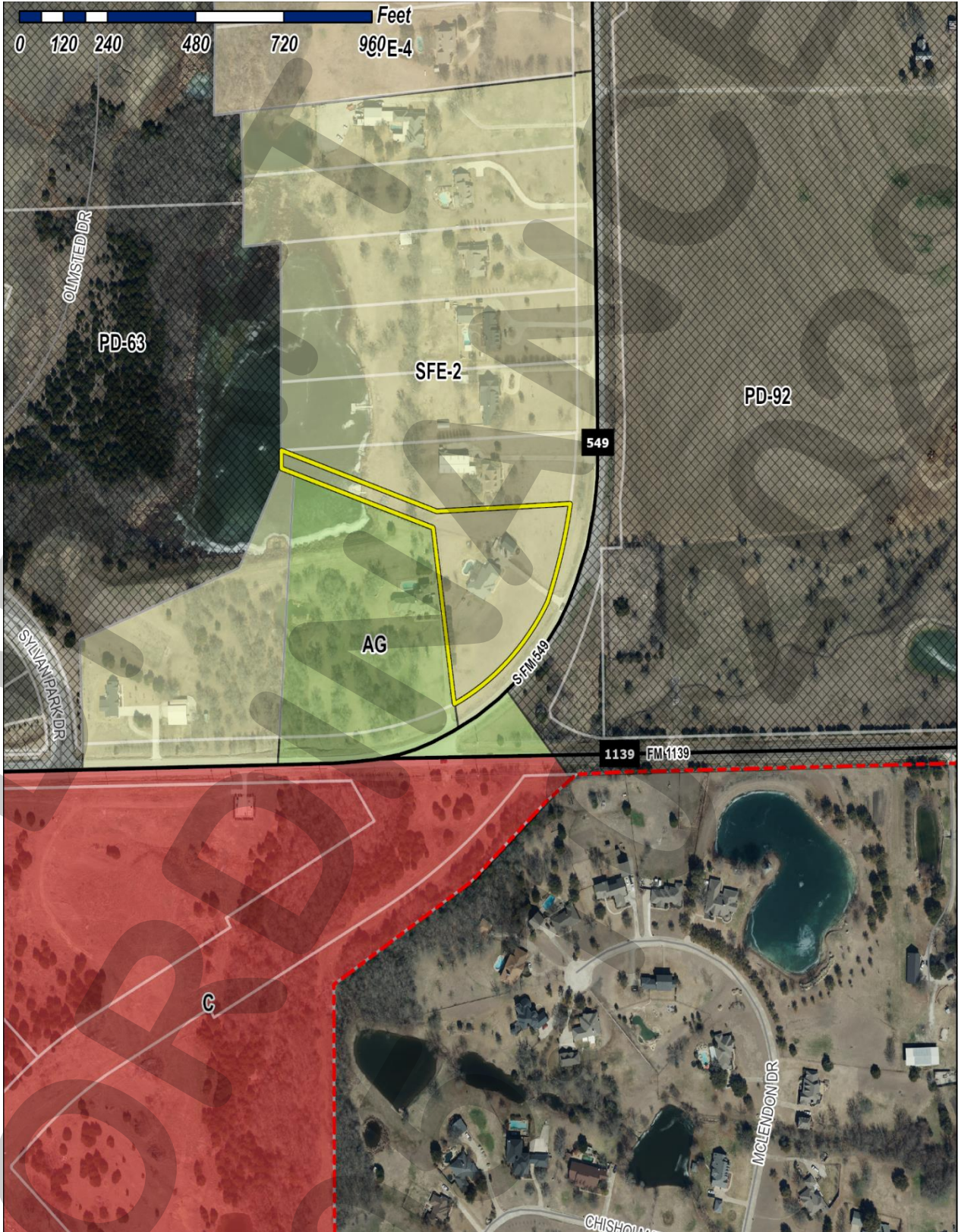
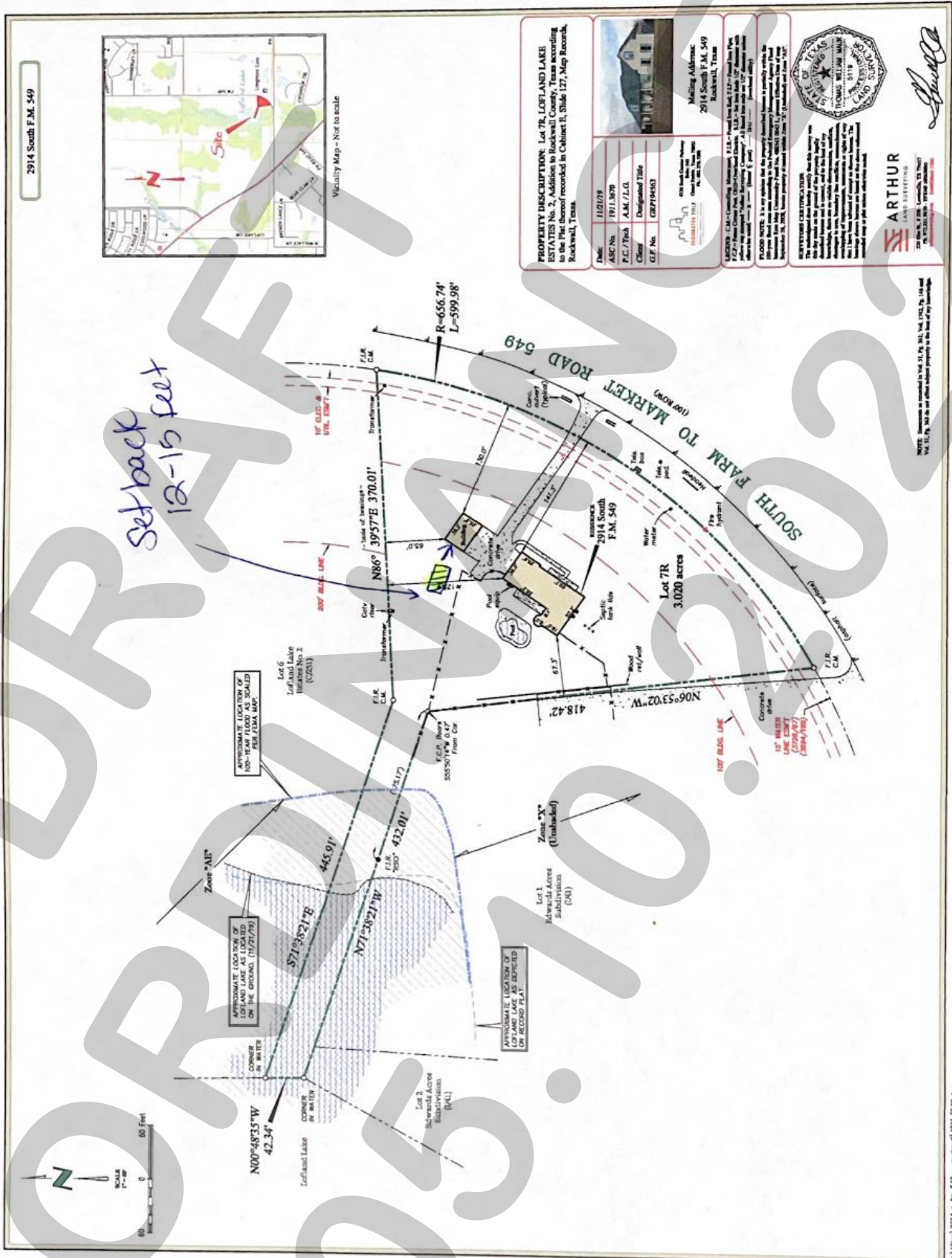


Exhibit 'B':
Site Plan



PROPERTY DESCRIPTION: Lot 7R, LORLAND LAKE Subdiv. No. 2, Addition to Rockwall County, Texas according to the plat recorded in Cabinet 14, Sheet 127, Map Records, Rockwall, Texas.

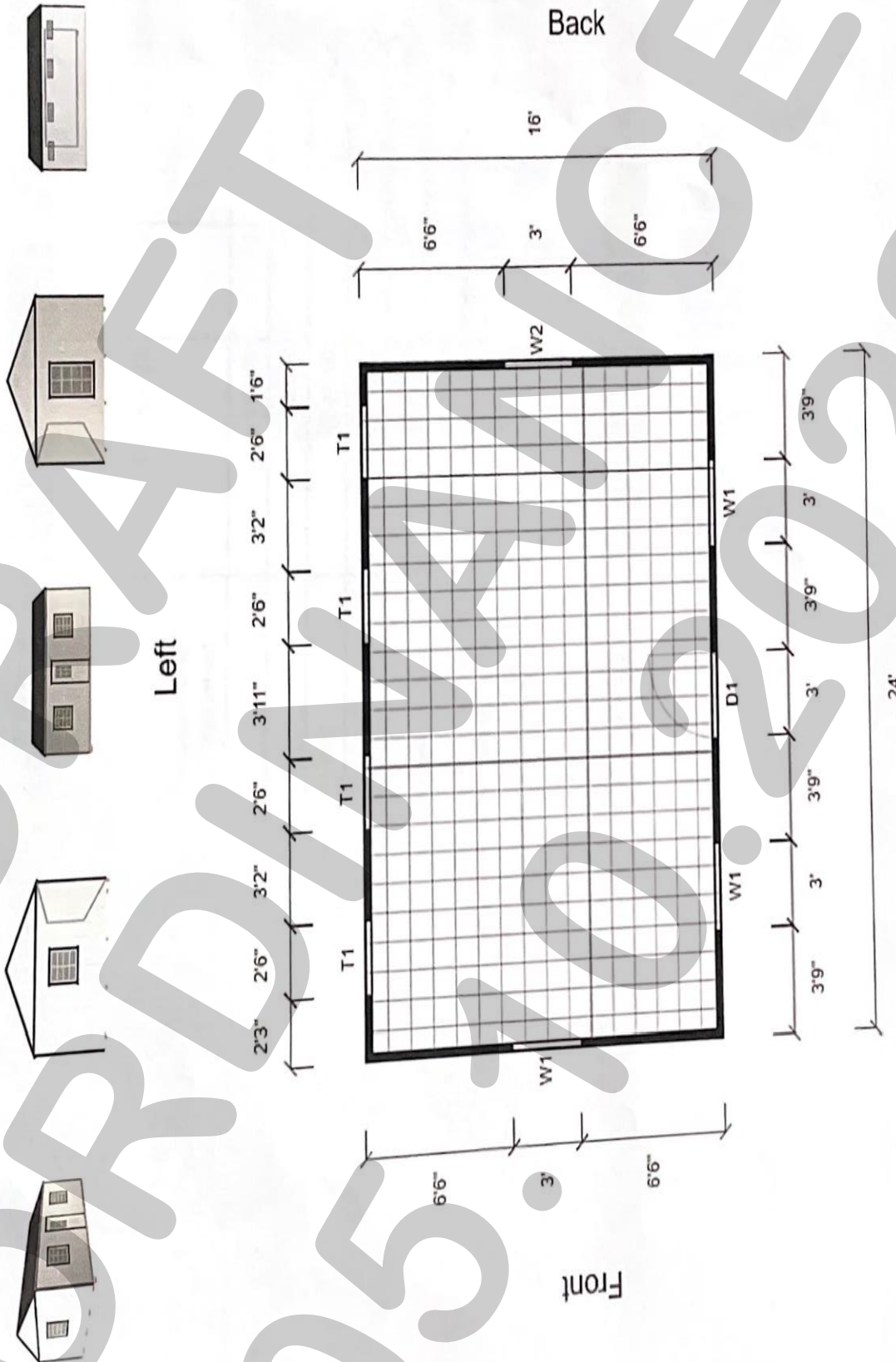
Date:	11/21/19
ASC No:	1911.909
P.C./Tack:	A.M./L.O.
Client:	Designated Title
G.F. No.:	CRP194503

Mailing Address:
2914 South F.M. 549
Rockwall, Texas

ARTHUR
LAND SURVEYORS

224 South Loop West, Suite 100, Rockwall, TX 75087
972.982.1000 • Fax: 972.982.1001

Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 10, 2022
APPLICANT: Fred Gans; *CDC Equities, LLC*
CASE NUMBER: Z2022-019; *Zoning Change (AG & C to PD) for Garages of Texas*

SUMMARY

Hold a public hearing to discuss and consider a request by Fred Gans of CDC Equities, LLC for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for limited Commercial (C) District land uses on a 13.55-acre tract of land identified as Lots 8R, 9R & 10 of the Rainbow Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, addressed as 5879, 5917 & 5981 FM-3097 [*Horizon Road*], and take any action necessary.

BACKGROUND

The subject property was platted as Lots 8, 9 & 10 of the Rainbow Acres Subdivision on October 25, 1962. On May 17, 2004 the subject property was annexed into the City of Rockwall by *Ordinance No. 04-34 [Case No. A2004-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On September 7, 2004, the subject property was changed from an Agricultural (AG) District to a Commercial (C) District by *Ordinance No. 04-50 [Case No. Z2004-027]*. On April 26, 2006 Lots 8 & 9 of the Rainbow Acres Subdivision were replatted [*Case No. P2005-037*] as Lots 8R & 9R of the Rainbow Acres Subdivision. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property are: [7] a 2,200 SF single-family home constructed in 2002, [2] a 1,200 SF detached garage constructed in 2002, [3] an 1,810 SF single-family home constructed in 1978, [4] a 340 SF barn constructed in 2003, [5] a 1,200 SF shop constructed in 2003, [6] a 80 SF storage building constructed in 2012, and [7] a 1,620 SF barn constructed in 2013. Beyond this no other improvements or zoning changes have been completed on the subject property since it was annexed.

PURPOSE

On April 14, 2022, the applicant -- *Fred Gans of CDC Equities, LLC* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for limited Commercial (C) District land uses. Specifically, the applicant is proposing to entitle the subject property to allow a *Mini-Warehouse* and *Flex Office/Warehouse* development consisting of 12 buildings with 161,100 SF of building area.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 5879, 5917 & 5981 FM-3097 [*Horizon Road*]. The land uses adjacent to the subject property are as follows:

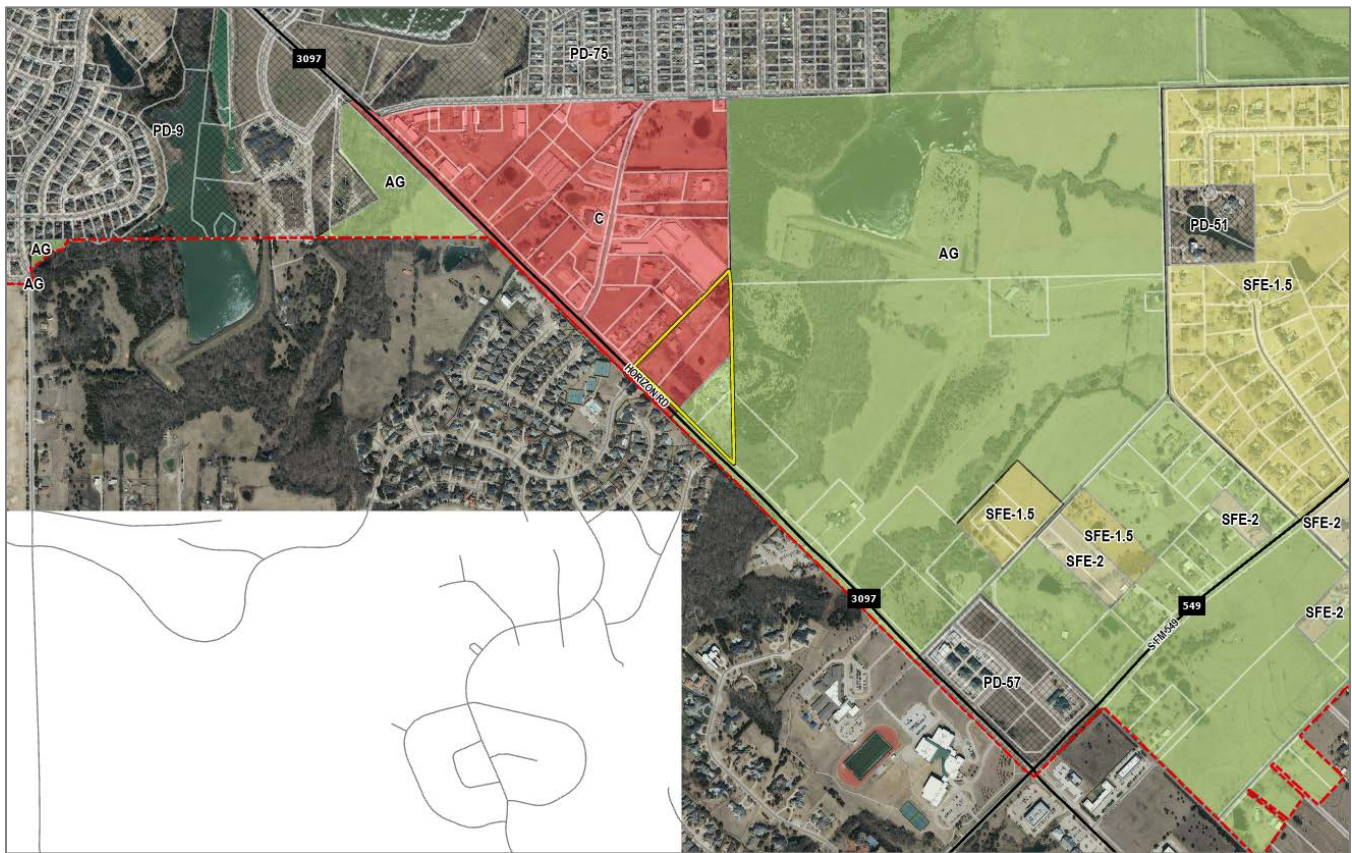
North: Directly north of the subject property is a five (5) acre tract of vacant land (*i.e. Tract 45-5 of the W. W. Ford Survey, Abstract No. 80*). Beyond this is a 123.00-acre tract of vacant land (*i.e. Tract 44-01 of the W. W. Ford Survey, Abstract No. 80*) followed by a 131.39-acre tract of vacant land (*i.e. Tract 43-01 of the W. W. Ford Survey, Abstract No. 80*). All of these properties are zoned Agricultural (AG) District.

South: Directly south of the subject property is Horizon Road [*FM-3097*], which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are the corporate limits of the City of Rockwall. South of this is the Buffalo Creek Subdivision in the City of Heath.

East: Directly east of the subject property is a five (5) acre tract of vacant land (i.e. Tract 45-5 of the W. W. Ford Survey, Abstract No. 80), and a 123.00-acre tract of vacant land (i.e. Tract 44-01 of the W. W. Ford Survey, Abstract No. 80). Both of these properties are zoned Agricultural (AG) District. Beyond this are two (2) tracts of land (i.e. Tracts 45-02 & 45-07 of the W. W. Ford Survey, Abstract No. 80) with a 2,676 SF single-family home that was constructed in 1981. This property is zoned Single-Family Estate 1.5 (SFE-1.5) District. Beyond this is H. Wallace Lane, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is: [1] a 2.29-acre parcel of land (i.e. Lot 7 of the Rainbow Acres Addition) with a residential structure that has been converted to non-residential land uses, [2] a 2.308-acre parcel of land (i.e. Lot 21 of the Rainbow Acres Addition) with a residential structure that has been converted to non-residential land uses, [3] a 1.84-acre parcel of land (i.e. Lot 12-2 of the Rainbow Acres Addition) with multiple non-residential structures situated on it, [4] a 1.50-acre parcel of land (i.e. Lot 12-1 of the Rainbow Acres Addition) with a non-residential structure situated on it, and [5] a 7.489-acre parcel of land (i.e. Lot 23 of the Rainbow Acres Addition) with a mini-warehouse facility situated on it. Beyond this are two (2) vacant parcels of land (i.e. Lot 12 & 20 of the Rainbow Acres Addition). All of these properties are zoned Commercial (C) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed development, which will consist of *Mini-Warehouse* and *Flex Office/Warehouse* land uses. The concept plan shows that the proposed development will consist of 12 buildings. Four (4) of these buildings will be dedicated solely to the *Mini-Warehouse* land use, six (6) of the buildings will allow *Mini-Warehouse* and/or *Flex Office/Warehouse* land uses, and two (2) of the buildings will be dedicated solely to *Flex Office/Warehouse* land uses. In total the applicant is proposing to have a maximum of 58 *Mini-Warehouse* units, 42 *Mini-Warehouse* and/or *Flex Office/Warehouse* units, and 11 *Flex Office/Warehouse* units. This will all be situated within 161,100 SF of building area. While the Planned Development District does allow the applicant the ability to establish Commercial (C)

District land uses within these buildings, the applicant has consented to limiting the land uses allowed on the subject property. Specifically, staff has included land use prohibitions on: [1] certain retail/restaurant land uses that would be incompatible with the proposed development (e.g. *craft winery, restaurant of any size, pawn shop, etc.*), [2] land uses that are considered parking intensive (e.g. *automobile rental, minor automotive repair garage, etc.*), [3] assembly land uses (e.g. *house of worship, hotel, etc.*), and [4] land uses that would be incompatible with the potential residential development on the adjacent property to the east (e.g. *Recreational Vehicle Sales, New or Used Boat Trailer, Outside Storage, etc.*).

With regard to the *Mini-Warehouse* land use, the applicant has indicated that the proposed land use will not function like a standard *Mini-Warehouse*. Specifically, these units will function as luxury garages that allow owners to customize these spaces and incorporate personal spaces in the units (e.g. *living rooms, theater rooms, kitchens, etc.*). These units are a for sale product and are individually deeded. This is one (1) of the reasons the applicant is requesting to allow the incorporation of small businesses into these units. Since the City's *Conditional Land Use Standards* for the *Mini-Warehouse* land use do not sufficiently regulate what the applicant is proposing, the only vehicle to accommodate this land use was a Planned Development District. According to Subsection 01.01, *Purpose*, of Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), "PD Districts are intended provide for the development of land as an integral unit for single or mixed use in accordance with the PD Concept Plan that may include uses, regulations, and other requirements that vary from this Unified Development Code (UDC) or from other ordinances, rules, or regulations of the City."

INFRASTRUCTURE

Based on the applicant's concept plan, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan, Horizon Road [FM-3097] is identified as a TXDOT4D (i.e. *Texas Department of Transportation, four [4] lane, divided roadway*), which requires 120-feet of right-of-way. The applicant will be required to verify the width of the existing right-of-way and ensure that a minimum of 60-feet from the centerline has been dedicated on the subject property.
- (2) Water. The applicant will be required to construct an eight (8) inch water line loop through the site, tapping into the 12-inch line on the southside of the right-of-way from Horizon Road [FM-3097].
- (3) Wastewater. The applicant will be required to tap into the eight (8) inch wastewater line that runs along the front property line of the subject property. In addition, the applicant will be required to pay an existing sewer pro-rata of \$432.74 per acre.
- (4) Drainage. Detention will be required per the City's *Engineering Standards of Design and Construction Manual*. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing ponds on the subject property.

CONFORMANCE TO THE CITY'S CODES

According to Subsection 02.03, *Minimum Standards for Non-Residential Planned Development Districts*, of Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), "...the minimum standards for all non-residential development shall conform to the minimum standards for overlay districts, which are outlined in Subsection 06.02, *General Overlay Districts Standards*, of Article 05, *District Development Standards*." In this case, staff has prepared the Planned Development District ordinance in accordance with the *General Overlay District Standards* and all applicable City code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Landscape Buffers Abutting Residential. According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a) minimum of a 20-foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a residentially zoned or used property." Currently, the property located directly east of the subject property is a vacant tract of land zoned Agricultural (AG) District. Despite being vacant, the Agricultural (AG) District is consider to be a residential zoning district. In addition, this property is designated for Low Density Residential land uses on the Future Land Use Map contained in the OURHometown Vision 2040

Comprehensive Plan. Based on this the applicant's request would be subject to the 20-foot landscape buffer requirements outline above. In lieu of this buffer, the applicant is proposing a ten (10) foot landscape buffer along the eastern property line. In proposing this buffer, the applicant has pointed out that no building will be located within 30-feet of the eastern property line, and the only the reason for this request is to allow a 24-foot firelane to extend around the backside of the buildings adjacent to the eastern property line.

- (2) Screening from Residential Adjacency. According to Subsection 05.02, *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers ... As an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (i.e. [1] *small to mid-sized shrubs, large shrubs or accent trees, and canopy trees* or [2] *evergreen trees and canopy trees*) along the entire length of the adjacency ..." In this case, the draft ordinance requires ground cover, shrubbery and canopy trees planted on 20-foot centers. While this does not exactly conform to the alternatives listed in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) it does appear to meet the intent of the screening standards. Staff should also point out that the applicant has stated that they intend to leave as many of the existing trees along this property line as possible. This should provide additional screening of the non-residential land use. Staff should also note that the Planned Development District ordinance prohibits outside storage.
- (3) Masonry. According to the *General Overlay District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), each building's exterior façade should consist of 90% primary (or masonry) materials with a minimum of 20% natural or quarried stone being utilized. In this case, the applicant has provided conceptual building elevations and a conceptual rendering showing the proposed development. These conceptual plans do not appear to fully meet this standard. Based on this the applicant has consented to incorporating a requirement that states that all buildings that face onto Horizon Road [FM-3097] will adhere to the masonry requirements of the *General Overlay District Standards*.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Southwest Residential District* and is designated for *Commercial/Retail* land uses. The *District Strategies* for the *Southwest Residential District* designate the subject property as a *Transitional Area* or an area "...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties ..." In this case, the proposed concept plan would establish a conforming development that would have a positive impact on the adjacent properties and remove two (2) existing older structures at 5879 & 5981 Horizon Road [FM-3097]. Based on this the applicant's request appears to conform with the OURHometown Vision 2040 Comprehensive Plan; however, all zoning changes are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On April 25, 2022, staff mailed 16 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Association (HOA) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices concerning the case.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for limited Commercial (C) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.

- (2) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 5879, 5917 and 5981 FM 3097, Rockwall, Texas 75032

SUBDIVISION Rainbow Acres

LOT 8R,9R,10,11 BLOCK

GENERAL LOCATION Site located across from County Club Drive, along FM 3097

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG (Agricultural District)

CURRENT USE Residential

PROPOSED ZONING PD (Planned Development District)

PROPOSED USE Commercial/Retail

ACREAGE 13.55± acres

LOTS [CURRENT] 4

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT CDC Equities, LLC and/or assigns

CONTACT PERSON

CONTACT PERSON Fred Gans

ADDRESS

ADDRESS 2323 Tarpley Rd., Suite 100

CITY, STATE & ZIP

CITY, STATE & ZIP Carrollton, TX 75006

PHONE

PHONE 866-379-3570

E-MAIL

E-MAIL fgans@cornerstonedev.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Fred A. Gans [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

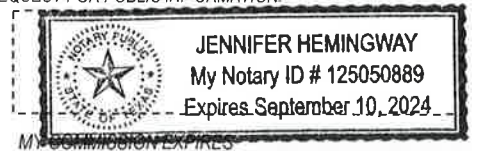
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 7th DAY OF April, 2022.

OWNER'S SIGNATURE

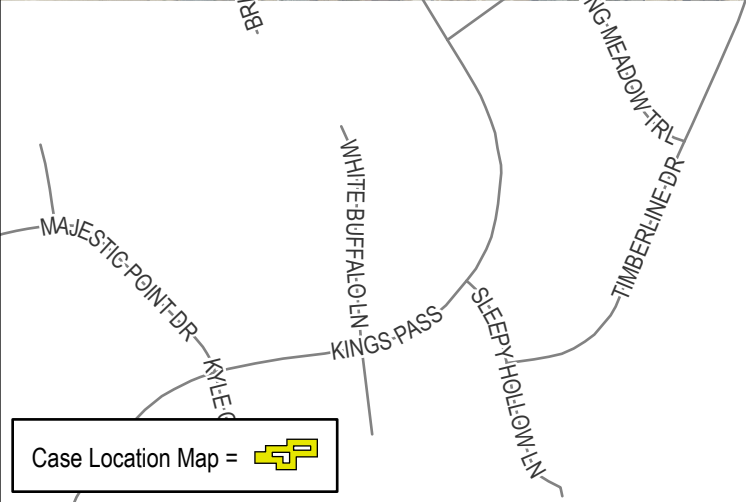
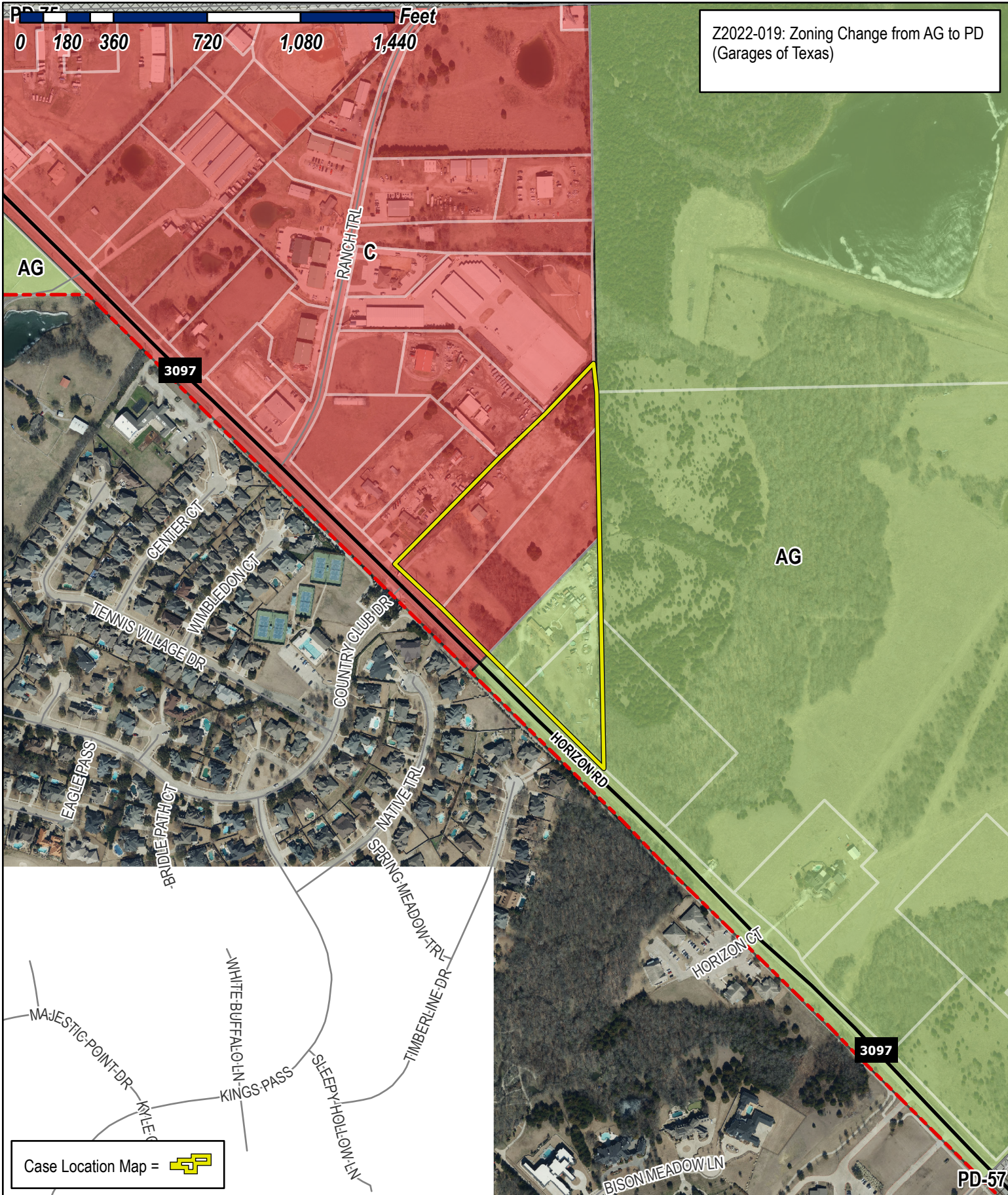
Fred A. Gans
Jennifer Hemingway


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



PD 75 Feet
0 180 360 720 1,080 1,440

Z2022-019: Zoning Change from AG to PD
(Garages of Texas)



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



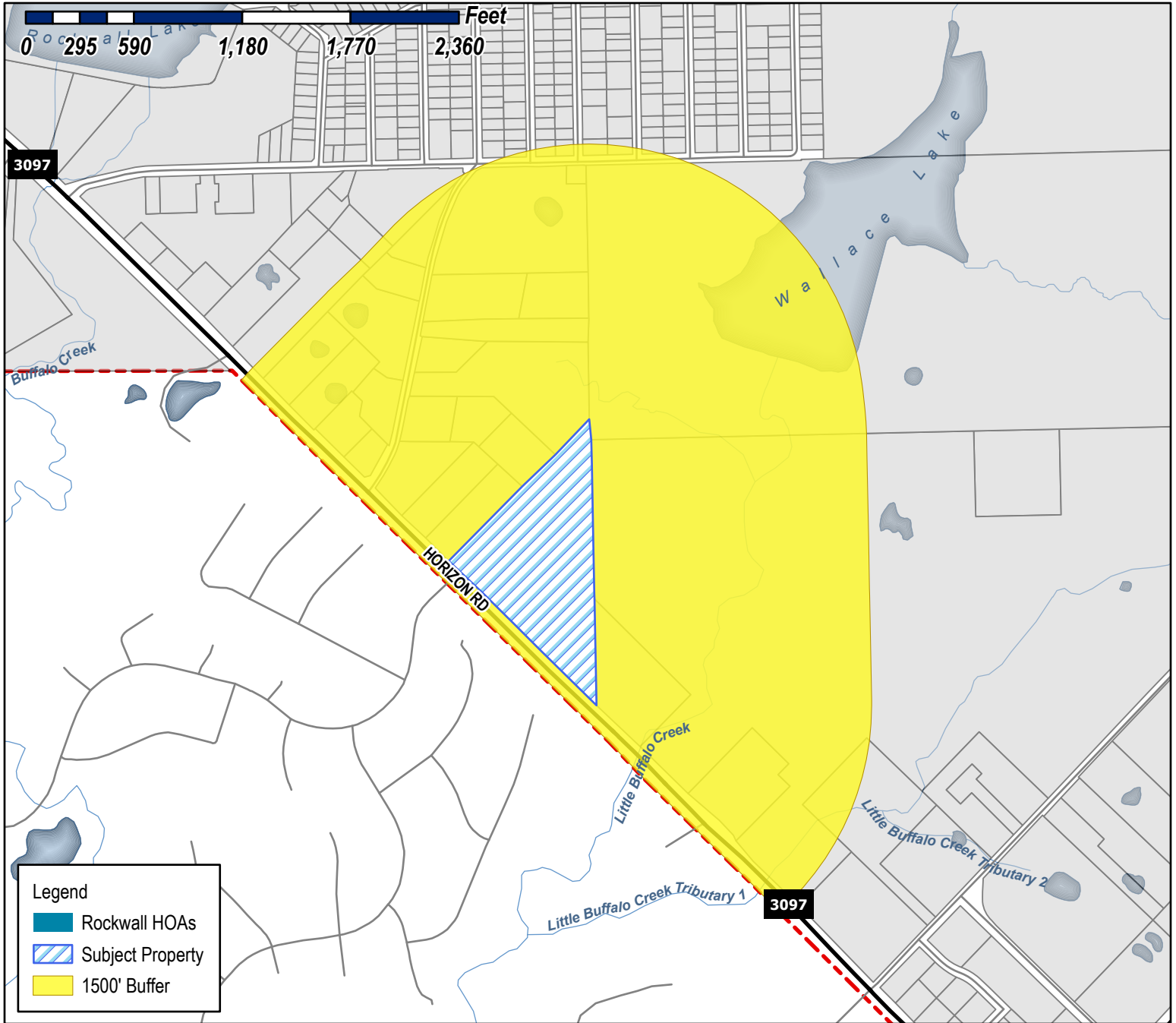
PD-57



City of Rockwall

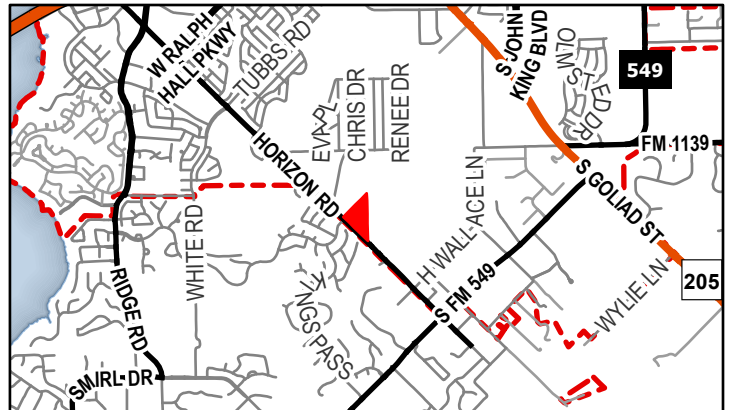
Planning & Zoning Department
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Case Number: Z2022-019
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 5879, 5917, & 5981 FM 3097

Date Saved: 4/14/2022
For Questions on this Case Call (972) 771-7745

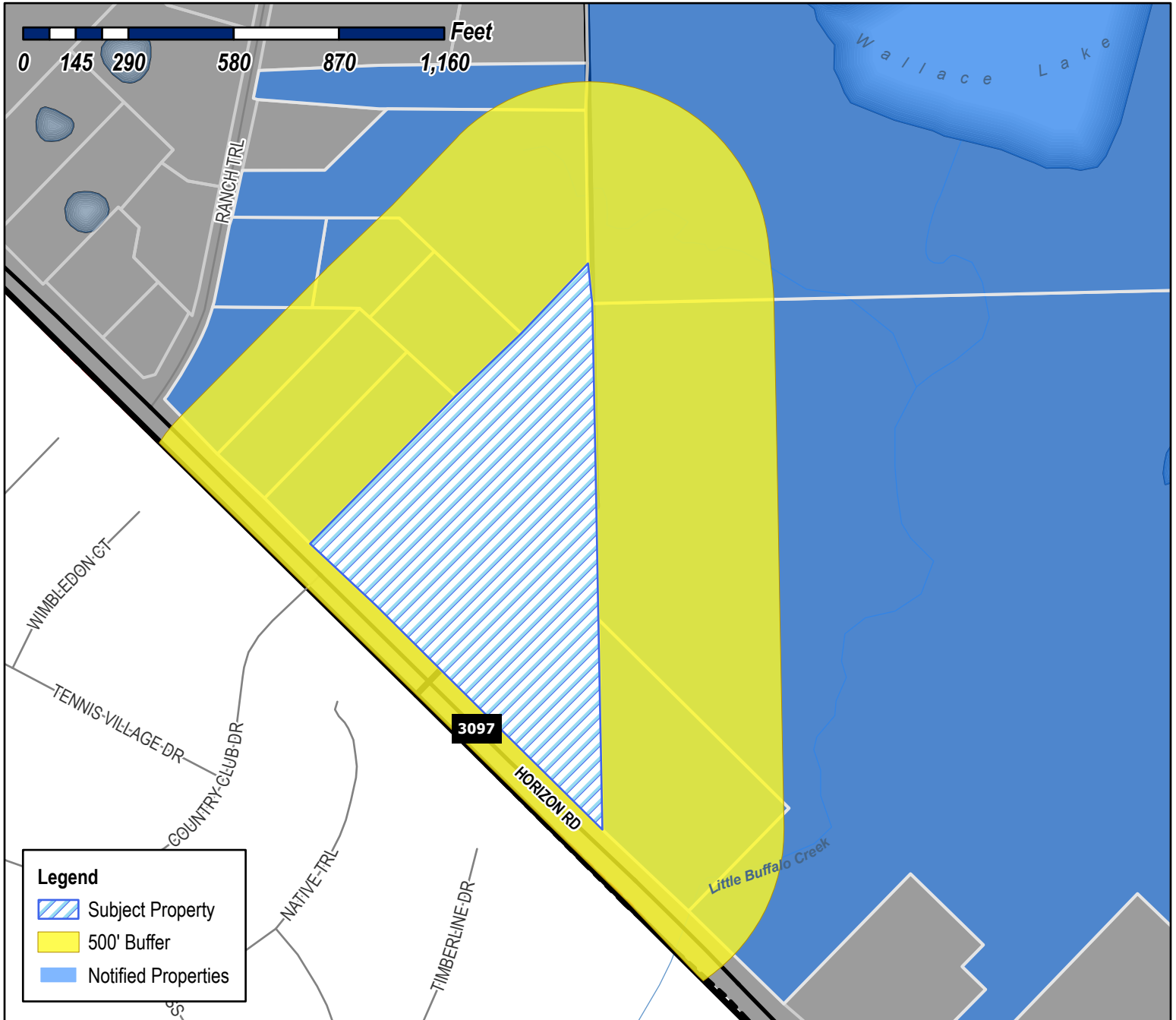




City of Rockwall

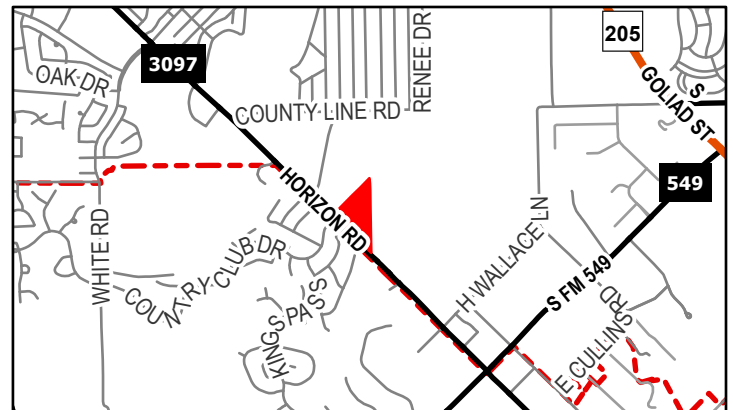
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LUECKE PATRICIA L MRS
1110 OAKMONT DR
RICHARDSON, TX 75081

TTI MANAGEMENT GROUP LLC
1435 QUAIL RUN RD
ROCKWALL, TX 75087

2-W BROTHERS LLC
207 RANCH TRL
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR AND
DIANA DOMINGUEZ
209 RANCH TRL
ROCKWALL, TX 75032

EPIC ROCKWALL VENTURES LLC
315 RANCH TR
ROCKWALL, TX 75032

HARDIN DENNIS & JOLYNN JONES
34 LAKEWAY DR
HEATH, TX 75032

KUMAR ATUL
3508 MCFARLIN BLVD
DALLAS, TX 75205

AGARWAL ASHWANI K & RACHNA
3508 MCFARLIN BLVD
DALLAS, TX 75205

DOMINGUEZ SALVADOR AND
DIANA DOMINGUEZ
420 LYNNE DR
ROCKWALL, TX 75032

HORIZON ROAD SELF STORAGE LLC
5763 S STATE HWY 205 #100
ROCKWALL, TX 75032

KUMAR ATUL
5811 FM 3097
ROCKWALL, TX 75032

HARDIN DENNIS & JOLYNN JONES
5853 FM 3097
ROCKWALL, TX 75032

MCCOY SHIREE DAY
5879 FM 3097
ROCKWALL, TX 75032

TTI MANAGEMENT GROUP LLC
5917 FM 3097
ROCKWALL, TX 75032

BINDER CARL JR
5981 FM 3097
ROCKWALL, TX 75032

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

Concept Plan Informational Statement Planned Development Application

Submitted on behalf of:
Garages of Texas Rockwall
2323 Tarpley Rd., Suite 100
Carrollton, TX 75006
214-738-3958
Mr. Mark Scott
msscott@garagesoftexas.com

Submitted by:
Bohler Engineering TX, LLC
6017 Main Street
Frisco, TX 75034
469-458-7300
Mr. Mathias Haubert, P.E.
mhaubert@bohlereng.com

Submitted to:
The City of Rockwall, Texas
Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087
Attn: Henry Lee

April 12, 2022

The Garages of Texas Rockwall is pleased to submit this Concept Plan Informational Statement along with our application to The City of Rockwall in support of a Planned Development application. This application, if approved, will allow for a commercial development on approximately 13.55± acres, located 2,900± LF southeast of the intersection of FM-3097 and Country Line Rd.

The project parcel is currently zoned (AG) Agriculture District and (C) Commercial District. The proposed (PD) Planned Development Zoning would have a base zoning district of (C) Commercial. All adjacent properties are zoned (AG) Agriculture, (PD) Planned Development (Residential) District, or (C) Commercial District, so the proposed use will be compatible with the adjacent properties. The proposed development is intended to be completed in one phase.

The City's Comprehensive Plan calls for the project parcel to be (CR) Commercial/Retail future land use. The proposed land use would be directly in compliance with what The City of Rockwall envisions for future development. With an approved Planned Development Concept Plan, the 13.55± acre commercial development will provide stable jobs in a convenient location off of FM-3097 for the local residents in the area and travelers. Our team strongly believes that the Planned Development will assist with the growth of the City of Rockwall.

The entire development team looks forward to working with The City of Rockwall to make this vision for the parcel a reality and respectfully request support of Planned Development application.

Respectfully,

Mathias Haubert, P.E.





RAINBO ACRES
SURVEYED DESCRIPTION

Being a 13.541 acre tract of land situate in the W.W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, and a portion of a 70.06 acre tract of land described by deed conveyed to J. A. Wilkerson, Jr. dated March 29, 1941, from J. H. Weddington, recorded in Vol. 36, Page 522, Deed Records, Rockwall County, Texas (D.R.R.C.T.), said 13.541 acre tract of land being more particularly described as follows:

Lots 8R & 9R, Replat of Rainbo Acres Addition, Lots 8 and 9, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slides 377 and 378, Plat Records, Rockwall County, Texas (P.R.R.C.T.);

Together with, Lots 10 and 11 of Rainbo Acres Subdivision as shown by Plat recorded in Cabinet A, Slide 20, Plat Records of Rockwall County, Texas (P.R.R.C.T.), and being further described by metes and bound as follows:

BEGINNING at a 1/2" iron rod found being common to the westerly corner of said Lot 8R Rainbo Acres Addition and the southerly corner of Lot 7 shown in said Cabinet A, Slide 20, said iron rod also being on the northeasterly right-of-way line of F.M. 3097 Horizon Road (a 100 foot width public right-of-way);

Thence departing said right-of-way line, North 44°39'29" East, along the line common with the northwesterly line of said Lot 8R and the southeasterly line of Lots 7 & 12 of said Rainbo Acres Subdivision, Cabinet A, Slide 20, 812.02 feet to a 1/2" iron rod found for the easterly corner of said Lot 12 and the southerly corner of Lot 25, in accordance with the Replat of Rainbo Acres, Inst.#2021000007850, Plat Records, Rockwall County, Texas (P.R.R.C.T.);

Thence North 44°10'42" East, along the line common with the northwesterly line of said Lot 8R and the southeasterly line of said Lot 25, 266.49 feet to a 1/2" iron rod found for the northerly corner of said Lot 8R and the easterly corner of said Lot 25, said point being on the westerly line of a tract of land described by deed to Wallace Land Partners, recorded in Vol. 2017, Page 76, Deed Records, Rockwall County, Texas (D.R.R.C.T.);

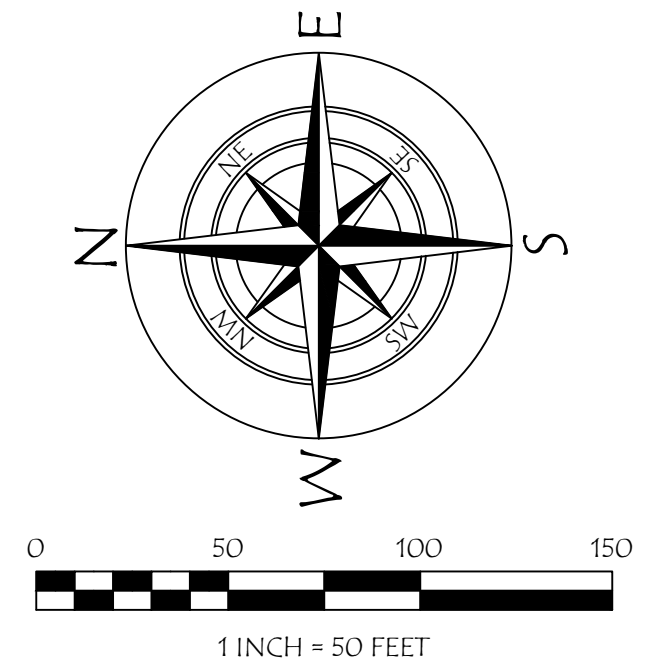
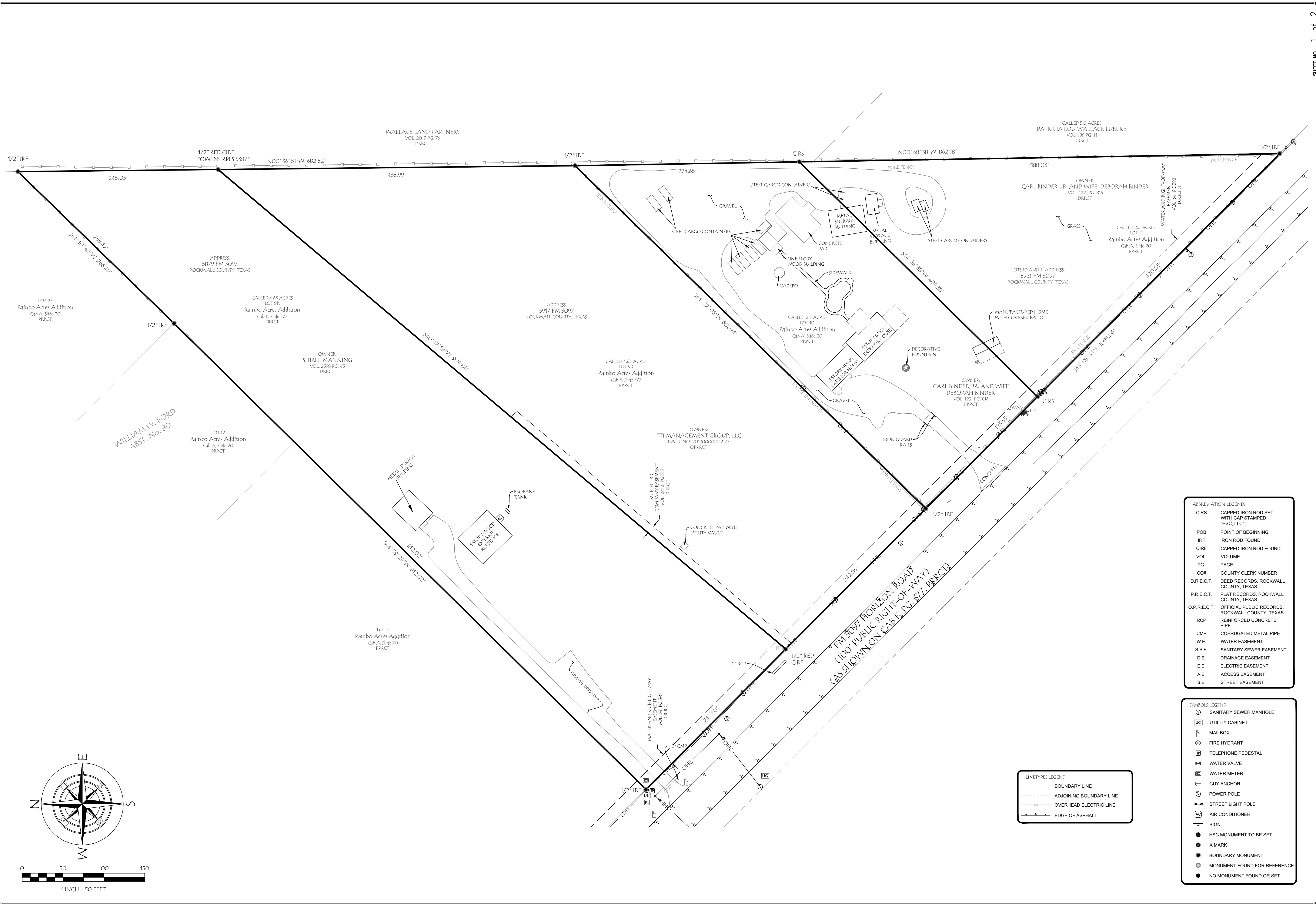
Thence South 00°36'51" East, along the line common with the westerly line of said Wallace Land Partners and the easterly line of said Lots 8R & 9R, 682.52 feet to a 1/2" iron rod found for the easterly corner of said Lot 9R and the northerly corner of said Lot 10, Rainbo Acres Subdivision, said point being on the westerly line of said Wallace Land Partners tract;

Thence South 00°58'38" East, along the line common with the westerly line of said Wallace Land Partners, the westerly line of a tract of land described by deed to Patricia Lou Wallace Luecke, recorded in Vol. 186, Page 11, Deed Records, Rockwall County, Texas (D.R.R.C.T.) and the easterly line of said Lots 10 & 11, Rainbo Acres Subdivision, 862.18 feet to a 1/2" iron rod found for the southerly corner of said Lot 11 and the westerly corner of said Patricia Lou Wallace Luecke tract, said point being on the northeasterly right-of-way line of F.M. 3097 Horizon Road (a 100 foot width public right-of-way);

Thence North 45°05'54" West, along the line common with said northeasterly right-of-way line and the southwesterly line of said Lots 11 & 10, Rainbo Acres Subdivision and said Lots 9R & 8R, Rainbo Acres Addition, 1099.06 feet to the **POINT OF BEGINNING** and containing 13.541 acres of land, more or less.

Reference bearing basis being grid north, Texas state plane coordinates, north central zone, NAD83 (adjustment 2011, epoch date 2010), determined by GPS observations.

FOR REVIEW ONLY



- ABBREVIATION LEGEND:**
- CIRS CAPPED IRON ROD SET WITH CAP STAMPED "HSC, LLC"
 - POB POINT OF BEGINNING
 - IRF IRON ROD FOUND
 - CIRF CAPPED IRON ROD FOUND
 - VOL. VOLUME
 - PG. PAGE
 - CC# COUNTY CLERK NUMBER
 - D.R.E.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
 - P.R.E.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
 - O.P.R.E.C.T. OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
 - RCP REINFORCED CONCRETE PIPE
 - CMP CORRUGATED METAL PIPE
 - W.E. WATER EASEMENT
 - S.S.E. SANITARY SEWER EASEMENT
 - D.E. DRAINAGE EASEMENT
 - E.E. ELECTRIC EASEMENT
 - A.E. ACCESS EASEMENT
 - S.E. STREET EASEMENT

- SYMBOLS LEGEND:**
- (Circle with cross) SANITARY SEWER MANHOLE
 - (Square with cross) UTILITY CABINET
 - (Circle with dot) MAILBOX
 - (Circle with dot) FIRE HYDRANT
 - (Square with cross) TELEPHONE PEDESTAL
 - (Circle with cross) WATER VALVE
 - (Square with cross) WATER METER
 - (Circle with cross) GUY ANCHOR
 - (Circle with cross) POWER POLE
 - (Circle with cross) STREET LIGHT POLE
 - (Circle with cross) AIR CONDITIONER
 - (Circle with cross) SIGN
 - (Circle with dot) HSC MONUMENT TO BE SET
 - (Circle with dot) X MARK
 - (Circle with dot) BOUNDARY MONUMENT
 - (Circle with dot) MONUMENT FOUND FOR REFERENCE
 - (Circle with dot) NO MONUMENT FOUND OR SET

- LINE TYPES LEGEND:**
- (Solid line) BOUNDARY LINE
 - (Dashed line) ADJOINING BOUNDARY LINE
 - (Dotted line) OVERHEAD ELECTRIC LINE
 - (Line with cross-ticks) EDGE OF ASPHALT

SHEET NO. 1 of 2

NUMBER	REVISIONS	DATE	BY

HUDSON SITE CONTROL, LLC
 LAND SURVEYING - CONSTRUCTION LAYOUT
 2384 HIGHWAY 287 N STE 224, MANSFIELD, TEXAS 76063
 OFFICE - 817.225.6200 FAX - 817.225.6701
 T.R. BELLS FIRM NO. 10194818

**LOTS 8R, 9R, 10 AND 11
 RAINBO ACRES
 ELLIS COUNTY, TEXAS
 ALTA/NSPS LAND TITLE SURVEY**

DATE:	APRIL 12, 2022
PROJECT MGR:	CH
PROJECT TECH:	LR
PROJECT NO.:	22-046

COMMITMENT NUMBER 1001-352837-RTT - SCHEDULE A

LEGAL DESCRIPTION OF LAND:
LOT 8R, REPLAT OF RAINBO ACRES ADDITION, LOTS 8 AND 9, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET F, SLIDES 377 AND 378, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

COMMITMENT NUMBER 1001-352837-RTT - SCHEDULE B - ITEM 10 (EXCEPTIONS FROM COVERAGE)

A. RIGHTS OF PARTIES IN POSSESSION (OWNER'S TITLE POLICY ONLY).

NOT A SURVEY MATTER.

B. RIGHTS, IF ANY, OF THIRD PARTIES WITH RESPECT TO ANY PORTION OF THE SUBJECT PROPERTY LYING WITHIN THE BOUNDARIES OF A PUBLIC OR PRIVATE ROAD.

NOT A SURVEY MATTER.

C. ALL VISIBLE AND APPARENT EASEMENTS OR USES AND ALL UNDERGROUND EASEMENTS OR USES, THE EXISTENCE OF WHICH MAY ARISE BY UNRECORDED GRANT OR BY USE. (MAY BE AMENDED OR DELETED UPON APPROVAL OF SURVEY.)

NOT ADDRESSED BY SURVEYOR.

D. ALL LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, APPEARING IN THE PUBLIC RECORDS WHETHER LISTED IN SCHEDULE B OR NOT. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF MINERAL INTEREST THAT ARE NOT LISTED.

NOT A SURVEY MATTER.

E. ANY AND ALL EASEMENTS, BUILDING LINES, CONDITIONS, COVENANTS AND/OR RESTRICTIONS THAT MAY BE SET OUT OR SHOWN IN VOL 1, PAGE 20 AND CABINET A, SLIDE 20, MAP/PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

DOES AFFECT SUBJECT TRACT, AS SHOWN HEREON.

F. EASEMENT GRANTED BY W.D. WILKERSON, INDEPENDENT EXECUTOR OF THE ESTATE OF J.A. WILKERSON TO RCH WATER SUPPLY CORPORATION, FILED 12/13/1961, RECORDED IN VOLUME 64, PAGE 398, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS.

DOES AFFECT SUBJECT TRACT, AS SHOWN HEREON.

G. EASEMENT GRANTED BY J.A. WILKERSON TO PRESENT AND FUTURE OWNERS, FILED 10/23/1962, RECORDED IN VOLUME 66, PAGE 270, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS.

DOES NOT AFFECT SUBJECT TRACT, NOT SHOWN HEREON.

H. MUNICIPAL UTILITY DISTRICT, WATER DISTRICT AND/OR PROPERTY IMPROVEMENT DISTRICT (PID) PLAN(S), IF ANY.

THIS DOCUMENT REFLECTS OBSERVED PERMANENT IMPROVEMENTS EXISTING ON THE SUBJECT PROPERTY AT TIME OF SURVEY.

CUMULATIVE LEGAL DESCRIPTION

BEING CALLED 14.3 ACRES OF LAND SITUATED IN THE W. W. FORD SURVEY, ABSTRACT NO. 80, AND BEING FURTHER DESCRIBED AS ALL OF LOTS 8R, 9R, 10, AND 11, RANBO ACRES, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS RECORDED IN CABINET A, SLIDE 20, AND CABINET F, SLIDE 377, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

COMMITMENT NUMBER 1001-350944-RTT - SCHEDULE A - EXHIBIT "A"

LOT 9R, REPLAT OF RAINBO ACRES ADDITION, LOTS 8 AND 9, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET F, SLIDE 377, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

COMMITMENT NUMBER 1001-350944-RTT - SCHEDULE B - ITEM 10 (EXCEPTIONS FROM COVERAGE)

A. RIGHTS OF PARTIES IN POSSESSION (OWNER'S TITLE POLICY ONLY).

NOT A SURVEY MATTER.

B. RIGHTS, IF ANY, OF THIRD PARTIES WITH RESPECT TO ANY PORTION OF THE SUBJECT PROPERTY LYING WITHIN THE BOUNDARIES OF A PUBLIC OR PRIVATE ROAD. (MAY BE AMENDED OR DELETED UPON APPROVAL OF SURVEY.)

NOT A SURVEY MATTER.

C. ALL VISIBLE AND APPARENT EASEMENTS OR USES AND ALL UNDERGROUND EASEMENTS OR USES, THE EXISTENCE OF WHICH MAY ARISE BY UNRECORDED GRANT OR BY USE. (MAY BE AMENDED OR DELETED UPON APPROVAL OF SURVEY.)

NOT ADDRESSED BY SURVEYOR.

D. ALL LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, APPEARING IN THE PUBLIC RECORDS WHETHER LISTED IN SCHEDULE B OR NOT. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF MINERAL INTEREST THAT ARE NOT LISTED.

NOT A SURVEY MATTER.

E. ANY AND ALL EASEMENTS, BUILDING LINES, CONDITIONS, COVENANTS AND/OR RESTRICTIONS THAT MAY BE SET OUT OR SHOWN IN CABINET F, SLIDE 377, MAP/PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

DOES AFFECT SUBJECT TRACT, AS SHOWN HEREON.

F. EASEMENT GRANTED BY ROSE HOLLAND, EXECUTOR, TO TXU ELECTRIC COMPANY, FILED 02/04/2002, RECORDED IN VOLUME 2412, PAGE 313, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS.

DOES AFFECT SUBJECT TRACT, AS SHOWN HEREON.

G. AFFIDAVIT TO THE PUBLIC EXECUTED BY SHIREE MANNING FOR ON-SITE WASTE WATER SYSTEM, FILED 09/10/2002, RECORDED IN VOLUME 2658, PAGE 44, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS.

DOCUMENT DESCRIBES SUBJECT PROPERTY, BUT DOES NOT CONTAIN A DESCRIPTION, NOT SHOWN HEREON.

H. 10' TXU ELECTRIC ESMT AS SHOWN ON SURVEY OF OWENS LAND SURVEYING, CERTIFIED BY FRANK R OWENS, #5387, DATED MAY 29, 2018.

DOES AFFECT SUBJECT TRACT, AS SHOWN HEREON.

COMMITMENT NUMBER 1001-357550-RTT - SCHEDULE A - EXHIBIT "A"

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN ROCKWALL COUNTY, TEXAS AND BEING IN THE W.W. FORD SURVEY, A PART OF A 70.06 ACRE TRACT CONVEYED TO J. A. WILKERSON, JR. BY DEED DATED MARCH 29, 1941, FROM J. H. WEDDINGTON, RECORDED IN VOL. 36, PAGE 522, DEED RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING TRACTS 10 AND 11 OF RAINBO ACRES SUBDIVISION AS SHOWN BY PLAT OF RECORD IN VOL. 1, PAGE 20, MAP RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH CORNER OF THE ORIGINAL 100 ACRE TRACT, THE SOUTH CORNER OF TRACT 11;

THENCE NORTH 45 DEG. 00 MIN. WEST, WITH THE CENTER LINE OF A COUNTY ROAD, 661.00 FEET TO A POINT FOR CORNER;

THENCE NORTH 45 DEG. 00 MIN. EAST, WITH THE NORTH LINE OF TRACT 10, 649.56 FEET TO AN IRON ROD FOR CORNER; THENCE SOUTH 00 DEG. 30 MIN. EAST, 926.74 FEET TO THE PLACE OF BEGINNING, AND CONTAINING 4.928 ACRES OF LAND, MORE OR LESS.

COMMITMENT NUMBER 1001-357550-RTT - SCHEDULE B - ITEM 10 (EXCEPTIONS FROM COVERAGE)

A. RIGHTS OF PARTIES IN POSSESSION (OWNER'S TITLE POLICY ONLY).

NOT A SURVEY MATTER.

B. RIGHTS, IF ANY, OF THIRD PARTIES WITH RESPECT TO ANY PORTION OF THE SUBJECT PROPERTY LYING WITHIN THE BOUNDARIES OF A PUBLIC OR PRIVATE ROAD. (MAY BE AMENDED OR DELETED UPON APPROVAL OF SURVEY.)

NOT A SURVEY MATTER.

C. ALL VISIBLE AND APPARENT EASEMENTS OR USES AND ALL UNDERGROUND EASEMENTS OR USES, THE EXISTENCE OF WHICH MAY ARISE BY UNRECORDED GRANT OR BY USE. (MAY BE AMENDED OR DELETED UPON APPROVAL OF SURVEY.)

NOT ADDRESSED BY SURVEYOR.

D. ALL LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, APPEARING IN THE PUBLIC RECORDS WHETHER LISTED IN SCHEDULE B OR NOT. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF MINERAL INTEREST THAT ARE NOT LISTED.

NOT A SURVEY MATTER.

E. ANY AND ALL EASEMENTS, BUILDING LINES, CONDITIONS, COVENANTS AND/OR RESTRICTIONS THAT MAY BE SET OUT OR SHOWN IN VOL 1, PAGE 20 AND CABINET A, SLIDE 20, MAP/PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

DOES AFFECT SUBJECT TRACT, AS SHOWN HEREON.

F. EASEMENT GRANTED BY W.D. WILKERSON, INDEPENDENT EXECUTOR OF THE ESTATE OF J.A. WILKERSON TO RCH WATER SUPPLY CORPORATION, FILED 12/13/1961, RECORDED IN VOLUME 64, PAGE 398, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS.

DOES AFFECT SUBJECT TRACT, AS SHOWN HEREON.

G. EASEMENT GRANTED BY J.A. WILKERSON TO PRESENT AND FUTURE OWNERS, FILED 10/23/1962, RECORDED IN VOLUME 66, PAGE 270, REAL PROPERTY RECORDS, ROCKWALL COUNTY, TEXAS.

DOES NOT AFFECT SUBJECT TRACT, NOT SHOWN HEREON.

SURVEYOR'S NOTES

1. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF THE FOLLOWING COMMITMENTS FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE GUARANTY COMPANY:

COMMITMENT NO. 1001-352837-RTT, EFFECTIVE DATE: NOVEMBER 3, 2021, ISSUED: NOVEMBER 22, 2021.

COMMITMENT NO. 1001-350944-RTT, EFFECTIVE DATE: OCTOBER 20, 2021, ISSUED: JANUARY 18, 2021.

COMMITMENT NO. 1001-357550-RTT, EFFECTIVE DATE: JANUARY 26, 2022, ISSUED: APRIL 05, 2022.

THE EASEMENTS, RIGHTS-OF-WAY OR OTHER EXCEPTIONS NOTED HEREON ARE ACCORDING TO SCHEDULE "B" THEREIN. THE SURVEYOR HAS NOT ABSTRACTED THE PROPERTY.

2. REFERENCE BEARING BASIS BEING GRID NORTH, TEXAS STATE PLANE COORDINATES, NORTH CENTRAL ZONE, NAD83 (ADJUSTMENT 2011, EPOCH DATE 2010), DETERMINED BY GPS OBSERVATIONS.

3. ALL SUBJECT PROPERTY CORNERS FOUND AS DESCRIBED, UNLESS OTHERWISE NOTED AS SET.

4. CORNERS CALLED "CIRS" ARE 5/8 INCH CAPPED IRON RODS SET STAMPED "HSC, LLC" IF NOTED.

5. ACCORDING TO THE FLOOD INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL NUMBER 48397C0040L, EFFECTIVE SEPTEMBER 26, 2008, AND COMMUNITY PANEL NUMBER 48397C0105L, EFFECTIVE SEPTEMBER 26, 2008, THE SUBJECT PROPERTIES LIE IN AN UNSHADED "ZONE X" AREA, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

6. THIS SURVEY REFLECTS THE ABOVE GROUND INDICATIONS OF UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE, OR ABANDONED. FURTHER, THE SURVEYOR DOES NOT WARRANT THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL THE UNDERGROUND UTILITIES, OR OTHER BURIED FEATURES, BUT HAS MADE AN ATTEMPT TO LOCATE THOSE VISIBLE OR INDICATED AS ACCURATELY AS POSSIBLE.

7. AT THE TIME OF THE ON-THE-GROUND SURVEY, NO CONSTRUCTION WAS OBSERVED ON THE SUBJECT PROPERTIES (TABLE "A" ITEM #16).

8. THE USE OF THE WORD "CERTIFY OR CERTIFICATE" USED HEREON CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OF FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED.

9. UTILITIES SHOWN WERE OBSERVED ABOVE GROUND AT THE TIME OF SURVEY.

SURVEYOR'S CERTIFICATE

TO: REPUBLIC TITLE OF TEXAS, INC., FIRST AMERICAN TITLE GUARANTY COMPANY, CDC EQUITIES, LLC, CDC EQUITIES, LLC, A TEXAS NON-PROFIT CORPORATION, SHIREE MANNING, TTI MANAGEMENT GROUP, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND CARL BINDER, JR. & WIFE, DEBORAH BINDER.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 13, AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 14, 2022.

DATE OF MAP OR PLAT: APRIL 12, 2022

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

RICHARD M. CUMMOCK
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NUMBER 6416

DATE:

REVISIONS

NO.	DATE	BY

HUDSON SITE CONTROL, LLC
LAND SURVEYING - CONSTRUCTION LAYOUT
2584 HIGHWAY 387 N, STE 224, MANSFIELD, TEXAS 76065
OFFICE TEL: 817.525.0701
FAX: 817.525.0701

LOTS 8R, 9R, 10 AND 11
RAINBO ACRES
ELLIS COUNTY, TEXAS
ALTA/NSPS LAND TITLE SURVEY

© 2022 Hudson Site Control, LLC. All rights reserved. This document is the property of Hudson Site Control, LLC. It is to be used only for the project and site identified herein. It is not to be used for any other purpose. It is not to be used as a final survey document. It is not to be used as a legal description. It is not to be used as a deed. It is not to be used as a mortgage. It is not to be used as a lease. It is not to be used as a contract. It is not to be used as a warranty. It is not to be used as a guarantee. It is not to be used as a certificate. It is not to be used as a title. It is not to be used as a claim. It is not to be used as a right. It is not to be used as a power. It is not to be used as a privilege. It is not to be used as a benefit. It is not to be used as a duty. It is not to be used as a liability. It is not to be used as a responsibility. It is not to be used as an obligation. It is not to be used as a debt. It is not to be used as a claim against. It is not to be used as a defense against. It is not to be used as a shield against. It is not to be used as a sword against. It is not to be used as a spear against. It is not to be used as a lance against. It is not to be used as a mace against. It is not to be used as a battle-axe against. It is not to be used as a sword against. It is not to be used as a spear against. It is not to be used as a lance against. It is not to be used as a mace against. It is not to be used as a battle-axe against.

DATE	APRIL 12, 2022
PROJECT	MC
PROJECT TECH.	GHP
PROJECT NO.	22-048

MATCHLINE (SEE THIS SHEET)

MATCHLINE (SEE THIS SHEET)

PD CONCEPT PLAN

ADDRESS TBD
13.55± ACRES
5879, 5917 & 5981 FM 3097, ROCKWALL, TX 75035
LOT 8R, 9R, 10 AND 11 RAINBOW ACRES ADDITION
CITY OF ROCKWALL, ROCKWALL COUNTY
ZONING CASE NO. Z2022-019
SUBMITTED: 05-03-2022

OWNER/APPLICANT: GARAGES OF TEXAS @ TARPLEY, LLC
ENGINEER: BOHLER
SURVEYOR: HUDSON SITE CONTROL, LLC
2323 TARPLEY RD., STE 100
6017 MAIN STREET
2384 HIGHWAY 287 N STE 224
CARROLLTON, TX 75006
FRISCO, TX 75034
MANSFIELD, TX 76063
PHONE: 966-379-3570
PHONE: 469-458-7300
PHONE: 817-225-6700
CONTACT: FRED GANS
CONTACT: MATHIAS HAUBERT
CONTACT: RICHARD CUMMOCK



BOHLER logo and company information: SITE CIVIL AND CONSULTING ENGINEERING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES.

GENERAL NOTES:

- 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL PROPOSED SIDEWALKS, LANDINGS, AND BARRIER-FREE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
3. HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.
4. THE REQUIRED SIDEWALK ALONG FM 3097 SHALL BE IN ACCORDANCE WITH TxDOT STANDARDS.
5. NO 100-YEAR FLOODPLAIN EXISTS ON THE PROPERTY.
6. PROPOSED BUILDINGS THAT ARE CLOSER THAN 15' SHALL INCORPORATE A FIRE RATED WALL.

FLOOD NOTE:

ACCORDING TO THE FLOOD INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL NUMBER 48397C0040L, EFFECTIVE SEPTEMBER 26, 2008, AND COMMUNITY PANEL NUMBER 48397C0105L, EFFECTIVE SEPTEMBER 26, 2008, THE SUBJECT PROPERTIES LIE IN AN UNSHADED "ZONE X" AREA, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

LOCATION MAP

SCALE: N.T.S.

LEGEND

Legend table with symbols for PROPERTY BOUNDARY, ADJACENT PROPERTY BOUNDARY, EXST. EASEMENTS, PROP. BUILDING SETBACK, PROP. LANDSCAPE BUFFER, PROP. CONCRETE CURB.

HATCH LEGEND

Hatch legend table with symbols for FIRE ACCESS & UTILITY EASEMENT, BUILDING, SIDEWALK.

SITE DATA SUMMARY TABLE

Table with columns for LEGAL, PARKING, SETBACKS, BUILDING, and LANDSCAPING. Includes rows for Gross Acreage, Existing Zoning, Proposed Zoning, etc.

REVISIONS

Revisions table with columns for REV, DATE, COMMENT, DRAWN BY, CHECKED BY.

811 logo and text: Know what's below. Call before you dig. ALWAYS CALL 811. It's fast. It's free. It's the law.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: TXA220027.00
DRAWN BY: MVP
DATE: 05/03/2022
CAD ID: SDD

ROCKWALL PLANNED DEVELOPMENT

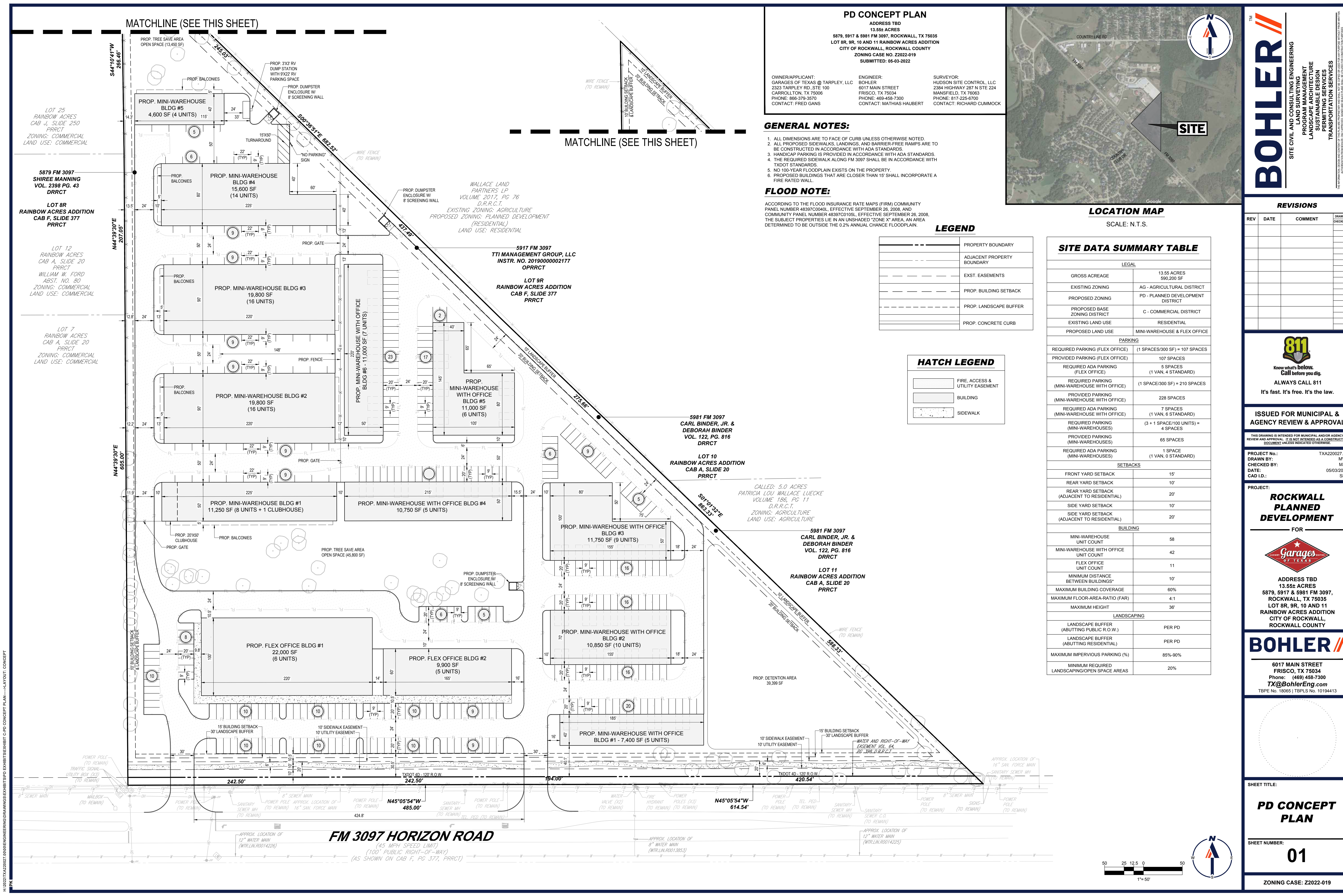
Garages of Texas logo and address information: ADDRESS TBD, 13.55± ACRES, 5879, 5917 & 5981 FM 3097, ROCKWALL, TX 75035.

BOHLER logo and contact information: 6017 MAIN STREET, FRISCO, TX 75034, Phone: (469) 458-7300, TX@BohlerEng.com

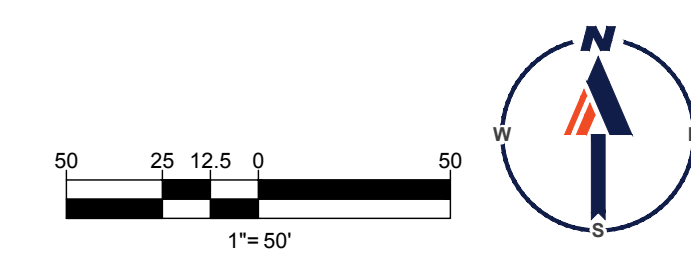
PD CONCEPT PLAN

SHEET NUMBER: 01

ZONING CASE: Z2022-019



H:\2022\TXA220027.00\0503\ENGINEERING\DRAWINGS\EXHIBITS\BIBIT C-PD CONCEPT PLAN...LAYOUT: CONCEPT





CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT AND COMMERCIAL (C) DISTRICT TO A PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR LIMITED COMMERCIAL (C) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 13.55-ACRE TRACT OF LAND IDENTIFIED AS LOTS 8R, 9R, & 10 OF THE RAINBOW ACRES SUBDIVISION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Fred Gans of CDC Equities, LLC for a change in zoning from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for limited Commercial (C) District land uses for a 13.55-acre tract of land identified as Lots 8R, 9R, & 10 of the Rainbow Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of any buildings on the *Subject Property* shall generally be in accordance with the *Concept Building Elevations*, depicted in *Exhibit 'D'* of this ordinance,

attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, outlined in *Exhibit 'E'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JUNE, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 16, 2022

2nd Reading: June 6, 2022

DRAFT
ORDINANCE
05.10.2022

Exhibit 'A':
Legal Description

BEING a 13.541-acre tract of land situate in the W.W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, and a portion of a 70.06-acre tract of land described by deed conveyed to J. A. Wilkerson, Jr. dated March 29, 1941, from J. H. Weddington, recorded in Vol. 36, Page 522, Deed Records, Rockwall County, Texas (D.R.R.C.T.), said 13.541-acre tract of land being more particularly described as follows:

Lots 8R & 9R, Replat of Rainbo Acres Addition, Lots 8 and 9, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slides 377 and 378, Plat Records, Rockwall County, Texas (P.R.R.C.T.);

Together with, Lots 10 and 11 of Rainbo Acres Subdivision as shown by Plat recorded in Cabinet A, Slide 20, Plat Records of Rockwall County, Texas (P.R.R.C.T.), and being further described by metes and bound as follows:

BEGINNING at a ½" iron rod found being common to the westerly corner of said Lot 8R Rainbo Acres Addition and the southerly corner of Lot 7 shown in said Cabinet A, Slide 20, said iron rod also being on the northeasterly right-of-way line of F.M. 3097 Horizon Road (a 100 foot width public right-of-way);

THENCE departing said right-of-way line, North 44°39'29" East, along the line common with the northwesterly line of said Lot 8R and the southeasterly line of Lots 7 & 12 of said Rainbo Acres Subdivision, Cabinet A, Slide 20, 812.02 feet to a ½" iron rod found for the easterly corner of said Lot 12 and the southerly corner of Lot 25, in accordance with the Replat of Rainbo Acres, Inst.#2021000007850, Plat Records, Rockwall County, Texas (P.R.R.C.T.);

THENCE North 44°10'42" East, along the line common with the northwesterly line of said Lot 8R and the southeasterly line of said Lot 25, 266.49 feet to a ½" iron rod found for the northerly corner of said Lot 8R and the easterly corner of said Lot 25, said point being on the westerly line of a tract of land described by deed to Wallace Land Partners, recorded in Vol. 2017, Page 76, Deed Records, Rockwall County, Texas (D.R.R.C.T.);

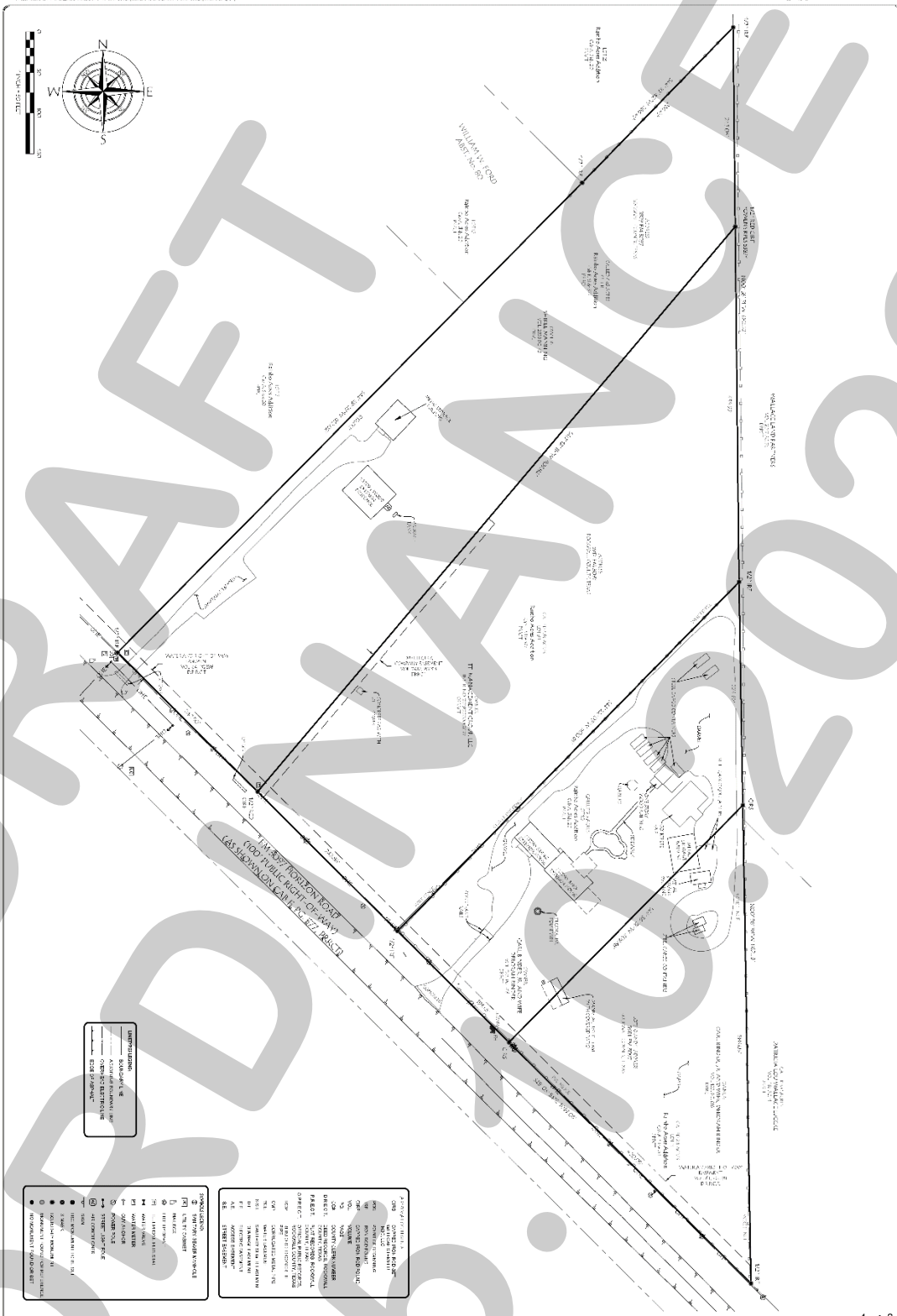
THENCE South 00°36'51" East, along the line common with the westerly line of said Wallace Land Partners and the easterly line of said Lots 8R & 9R, 682.52 feet to a ½" iron rod found for the easterly corner of said Lot 9R and the northerly corner of said Lot 10, Rainbo Acres Subdivision, said point being on the westerly line of said Wallace Land Partners tract;

THENCE South 00°58'38" East, along the line common with the westerly line of said Wallace Land Partners, the westerly line of a tract of land described by deed to Patricia Lou Wallace Luecke, recorded in Vol. 186, Page 11, Deed Records, Rockwall County, Texas (D.R.R.C.T.) and the easterly line of said Lots 10 & 11, Rainbo Acres Subdivision, 862.18 feet to a ½" iron rod found for the southerly corner of said Lot 11 and the westerly corner of said Patricia Lou Wallace Luecke tract, said point being on the northeasterly right-of-way line of F.M. 3097 Horizon Road (a 100 foot width public right-of-way);

THENCE North 45°05'54" West, along the line common with said northeasterly right-of-way line and the southwesterly line of said Lots 11 & 10, Rainbo Acres Subdivision and said Lots 9R & 8R, Rainbo Acres Addition, 1099.06 feet to the *POINT OF BEGINNING* and containing 13.541 acres of land, more or less.

Reference bearing basis being grid north, Texas state plane coordinates, north central zone, NAD83 (adjustment 2011, epoch date 2010), determined by GPS observations.

**Exhibit 'B':
Survey**



<p>DATE: APRIL 12, 2022</p> <p>PROJECT: RAINBO ACRES</p> <p>CLIENT: ALTA/NSPS</p> <p>JOB NO: 22-048</p>	<p>LOTS 8R, 9R, 10 AND 11 RAINBO ACRES ELLIS COUNTY, TEXAS ALTA/NSPS LAND TITLE SURVEY</p>	<p>HUDSON SITE CONTROL, LLC LAND SURVEYING - CONSTRUCTION LAYOUT 2240 WINDYBROOK DRIVE, SUITE 100, ROCKWALL, TEXAS 75087 PHONE: 972.222.2700 FAX: 972.222.2701</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>NOISE</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NOISE	REVISIONS	DATE	BY				
NOISE	REVISIONS	DATE	BY								

Exhibit 'C': Concept Plan

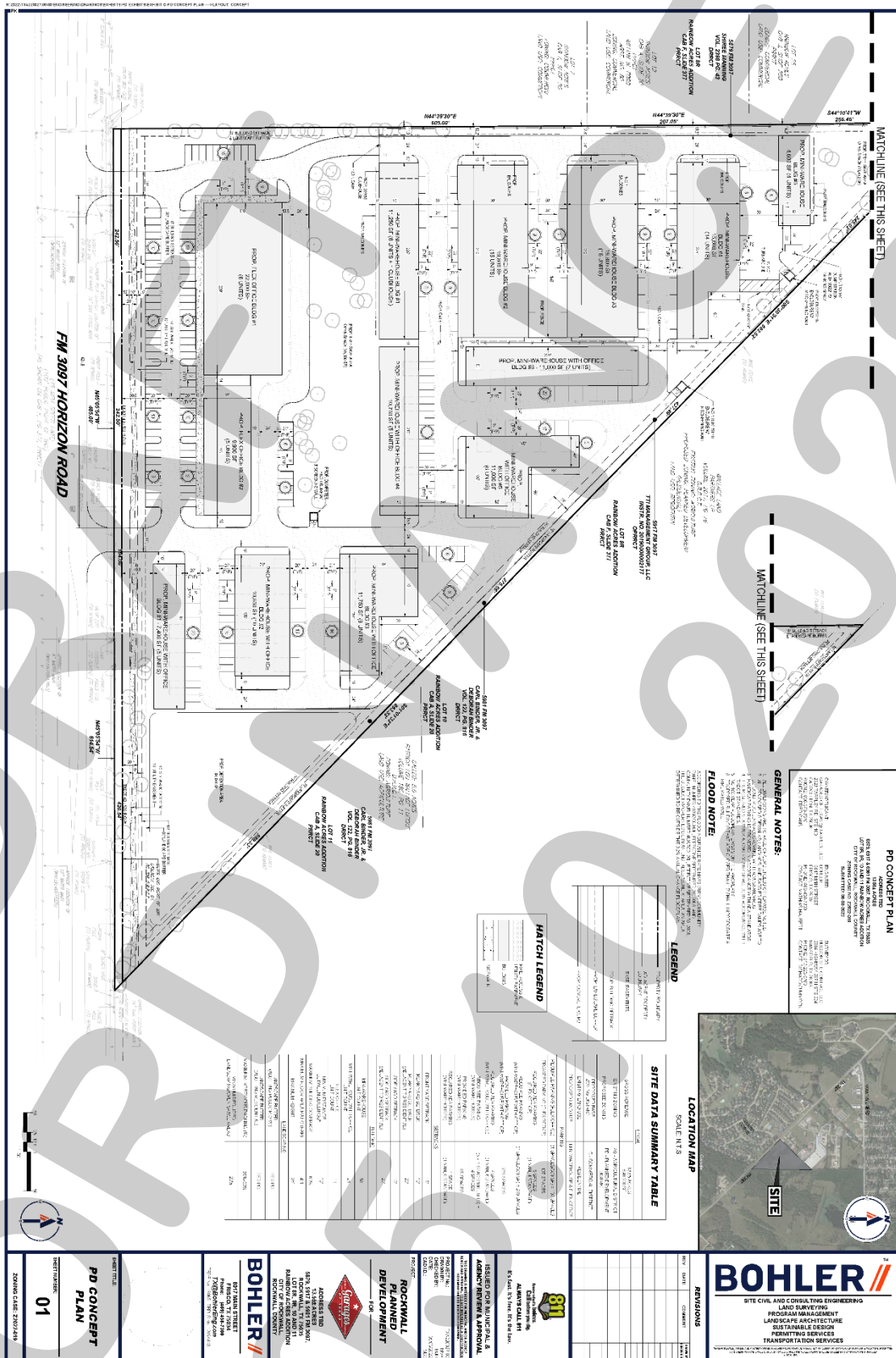


Exhibit 'D':
Concept Building Elevations



Exhibit 'E':
Development Standards

All development occurring within the boundaries of the *Subject Property* shall conform to the development and land use standards contained in this Planned Development District ordinance. Development and land use standards not explicitly mentioned in this ordinance shall be governed by *Ordinance No. 20-02* and be subject to all pertinent development and land use standards for a Commercial (C) District as specified by the Unified Development Code (UDC). All sections of the Unified Development Code (UDC) referenced in this section of the Planned Development District Ordinance shall be as is and as amended in the future.

E.1 PURPOSE.

The purpose of this Planned Development District is to provide provisions that control the development of a *Mini-Warehouse Facility* and *Office/Warehouse Buildings* on the subject property.

E.2 LAND USE AND DEVELOPMENT STANDARDS.

(1) Permitted Uses. Unless specifically provided for by this Planned Development District Ordinance, only those uses permitted within the Commercial (C) District, as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following conditions shall apply:

(a) The following land uses shall be permitted *By-Right*:

- Mini-Warehouse¹
- Warehouse²

Notes:

(1): The following *Conditional Land Use Standards* are required with the establishment of this land use:

- (1) A caretakers quarters shall prohibited in conjunction with the *Mini-Warehouse* land use.
- (2) The front, side and rear building setback areas shall be landscaped. Landscaping should be clustered, creating interesting relief from the large industrial nature of the buildings. This will be reviewed at the time of site plan for conformance.
- (3) The commercial operation of rental trucks and trailers shall be prohibited.
- (4) Businesses shall be permitted to operate in the individual units; however, the business shall conform to the permitted uses as specified in this Planned Development District Ordinance.
- (5) No outside storage of any kind shall be allowed.
- (6) Lighting standards shall be limited to 20-feet.

(2): As an accessory use to an office.

(b) The following land uses shall be expressly *Prohibited*:

- Agricultural Uses on Unplatted Land
- Animal Boarding/Kennel without Outside Pens
- Animal Clinic for Small Animals without Outdoor Pens
- Animal Hospital or Clinic
- Community Garden
- Urban Farm
- Covenant, Monastery, or Temple
- Limited Service Hotel

Exhibit 'E':
Development Standards

- Full-Service Hotel
- Residence Hotel
- Motel
- Assisted Living Facility
- Blood Plasma Donor Center
- Cemetery/Mausoleum
- Church/House of Worship
- College, University, or Seminary
- Convalescent Care Facility/Nursing Home
- Congregate Care Facility/Elderly Housing
- Daycare Facility
- Emergency Ground Ambulance Services
- Government Facility
- Hospice
- Hospital
- Public Library
- Mortuary or Funeral Chapel
- Local Post Office
- Regional Post Office
- Public or Private School
- Financial Institution with a Drive-Through
- Temporary Carnival, Circus, or Amusement Ride
- Indoor Commercial Amusement/Recreation
- Outdoor Commercial Amusement/Recreation
- Public or Private Community or Recreation Club as an Accessory Use
- Private Country Club
- Golf Driving Range
- Temporary Fundraising Events by Non-Profit
- Indoor Gun Club with Skeet or Target Range
- Health Club or Gym
- Private Club, Lodge or Fraternal Organization
- Private Sports Arena, Stadium, and/or Track
- Tennis Courts (*i.e. Not Accessory to a Public or Private Country Club*)
- Theater
- Antique/Collectible Store
- Astrologer, Hypnotist, or Psychic
- Banquet Facility/Event Hall
- Portable Beverage Service Facility
- Brew Pub
- Business School
- Catering Service
- Temporary Christmas Tree Sales Lot and/or Similar
- Copy Center
- Craft/Micro Brewery, Distillery and/or Winery
- Incidental Display
- Food Trucks/Trailers
- Garden Supply/Plant Nursery
- General Personal Service
- Hair Salon and/or Manicurist
- Laundromat with Dropoff/Pickup Services
- Self Service Laundromat
- Massage Therapist
- Private Museum or Art Gallery

Exhibit 'E':
Development Standards

- Night Club, Discotheque, or Dance Hall
- Pawn Shop
- Permanent Cosmetics
- Pet Shop
- Temporary Real Estate Sales Office
- Rental Store without Outside Storage and/or Display
- Restaurant with less than 2,000 SF with Drive-Through or Drive-In
- Restaurant with less than 2,000 SF without Drive-Through or Drive-In
- Restaurant with 2,000 SF or more with Drive-Through or Drive-In
- Restaurant with 2,000 SF or more without Drive-Through or Drive-In
- Retail Store with Gasoline Sales that has Two (2) or less Dispensers (*i.e. a Maximum of Four [4] Vehicles*)
- Retail Store with Gasoline Sales that has more than Two (2) Dispensers
- Secondhand Dealer
- Tailor, Clothing, and/or Apparel Shop
- Bail Bond Service
- Building and Landscape Material with Outside Storage
- Electrical, Watch, Clock, Jewelry and/or Similar Repair
- Furniture Upholstery/Refinishing and Resale
- Rental, Sales and Service of Heavy Machinery and Equipment
- Locksmith
- Shoe and Boot Repair and Sales
- Trade School
- Minor Automotive Repair Garage
- Automobile Rental
- New or Used Boat and Trailer Dealership
- Full Service Car Wash and Auto Detail
- Self Service Car Wash
- New Motor Vehicle Dealership for Cars and Light Trucks
- Used Motor Vehicle Dealership for Cars and Light Trucks
- Commercial Parking
- Recreational Vehicle (RV) Sales and Service
- Service Station
- Temporary Asphalt or Concrete Batch Plant
- Mining and Extraction of Sand, Gravel, Oil and/or Other Materials
- Commercial Antenna
- Antenna for an Amateur Radio
- Radio Broadcasting

(2) *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development District ordinance, the density and dimensional standards stipulated by the Commercial (C) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development of the *Subject Property*. All development shall also conform to the following additional standards:

(a) *Building Height.* The building height for all buildings shall be limited to a maximum height of 36-feet.

(3) *Architectural and Building Standards.* Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Commercial (C) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development of the

Exhibit 'E':
Development Standards

Subject Property, however, the buildings shall generally adhere to the *Concept Building Elevations contained in Exhibit 'D'*. In addition, buildings fronting onto or that have visibility from Horizon Road (FM-3097) shall meet the *General Overlay District Standards* stipulated by Section 06, *Overlay Districts*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC). These standards shall only apply to the building façades front onto or that have visibility from Horizon Road (FM-3097).

- (4) *Landscaping and Hardscape Standards*. Unless specifically provided by this Planned Development District ordinance, the landscape and hardscape standards stipulated by Article 05, *District Development Standards*, and Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) are applicable to all development of the *Subject Property*. In addition, the landscape buffer requirements for the development of the *Subject Property* shall be as follows:
- (a) *Landscape Buffer and Sidewalk (Horizon Road)*. A minimum of a 20-foot landscape buffer shall be provided along Horizon Road (FM-3097) (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* undulating berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering/curvilinear six (6) foot trail shall be constructed within the 20-foot landscape buffer.
- (b) *Landscape Areas Adjacent to the Eastern Property Line*. A minimum of a ten (10) foot landscape buffer shall be provided adjacent to the eastern boundary (*i.e. adjacent to Tracts 44-01 & 45-5 of the W. W. Ford Survey, Abstract No. 80*), and shall incorporate ground cover and a shrubbery along the entire length of the frontage. Within this buffer the applicant shall provide canopy trees on 20-foot centers along the entire adjacency.
- (5) *VariANCES*. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 10, 2022
APPLICANT: Hellen Byrd
CASE NUMBER: Z2022-020; *Zoning Change (AG to LI) for 4649 SH-276*

SUMMARY

Hold a public hearing to discuss and consider a request by Hellen Byrd on behalf of Donald Valk for the approval of a Zoning Change from an Agricultural (AG) District to a Light Industrial (LI) District for a 14.78-acre tract of land identified as Tracts 8 & 8-1 of the J. H. Bailey Survey, Abstract No. 34, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 4649 SH-276, and take any action necessary.

BACKGROUND

The subject property was annexed on December 22, 2008 by *Ordinance No. 08-65 [Case No. A2008-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property are [1] a 2,607 SF single-family home constructed in 1988, [2] a 1,600 SF shop constructed in 1993, [3] a 576 SF and a 450 SF detached carport both constructed in 2005, [4] a 144 SF and a 216 SF accessory building both constructed in 1975. Beyond this no additional improvements or changes to the zoning designation have been made on the subject property since it was annexed.

PURPOSE

On April 14, 2022, the applicant – *Hellen Byrd* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 4649 SH-276. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the corporate limits of the City of Rockwall. Beyond this is SH-276, which is identified as a TXDOT6D (*i.e. a Texas Department of Transportation, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this thoroughfare are multiple properties situated within the City's Extraterritorial Jurisdiction (ETJ) with residential and non-residential structures constructed on them.

South: Directly south of the subject property is a 132.4354-acre tract of land (*i.e. Tract 1 of the J. Lockhart Survey, Abstract No. 137*). This property is zoned Planned Development District 76 (PD-76) for Single-Family 1 (SF-1) District land uses. Beyond this are the corporate limits of the City of Rockwall. South of this are two (2) tracts of land (*i.e. Tracts 17 & 17-01 of the J. Lockhart Survey, Abstract No. 137*) situated within City's Extraterritorial Jurisdiction (ETJ) with residential structures constructed on them.

East: Directly east of the subject property is a 9.916-acre tract of land (*i.e. Tract 10 of the J. H. Bailey Survey, Abstract No. 34*), which has a single-family home constructed on it. East of this is a vacant ten (10) acre tract of land (*i.e. Tract 9 of the J. H. Bailey Survey, Abstract No. 34*), which is vacant. Beyond this is a 11.53-acre tract of land (*i.e. Tract 7 of the J. H. Bailey Survey, Abstract No. 34*), which has non-residential structures constructed on it. All of these properties are zoned Agricultural (AG) District.

West: Directly west of the subject property is a 15-acre tract of land (i.e. *Tract 6 of the J. H. Bailey Survey, Abstract No. 34*), which has multiple non-residential structures situated on it. West of this is a ten (10) acre tract of land (i.e. *Tract 3 of the J. H. Bailey Survey, Abstract No. 34*) with multiple non-residential structures situated on it. Beyond this is a ten (10) acre tract of land (i.e. *Tract 4 of the J. H. Bailey Survey, Abstract No. 34*), which has an agricultural structure situated on it. All of these properties are zoned Agricultural (AG) District.

CONFORMANCE TO THE CITY’S CODES

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses ... [and] is intended for industrial parks and larger, cleaner types of industries.” The applicant has provided a concept plan showing an intent to establish a *Mini-Warehouse Facility* and *Multiple Flex/Warehouse Buildings* on the subject property. According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), these land uses are permitted within the Light Industrial (LI) District; however, the *Mini-Warehouse* land use has *Conditional Land Use Standards* that are required to be met in order to establish the land use in the Light Industrial (LI) District. Section 05.02 of Article 05 of the Unified Development Code (UDC) goes on to state that “(t)he locations for these types of industrial land uses are typically a minimum of two (2) acres and average of five (5) to ten (10) acres ... (s)ince this zoning designation accommodates limited industrial activities that require substantial screening and buffering requirements, the Light Industrial (LI) District is a suitable zoning designation for high visibility locations (e.g. *IH-30 and SH-276*) ...” In this case, the subject property is a 14.78-acre tract of land that has direct frontage along SH-276. If rezoned, the property would be subject to the density and dimensional requirements for a property in a Light Industrial (LI) District as specified by Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized as follows:

TABLE 1: LIGHT INDUSTRIAL (LI) DISTRICT STANDARDS

<i>Minimum Lot Area</i>	12,500 SF
<i>Minimum Lot Width</i>	100'
<i>Minimum Lot Depth</i>	125'
<i>Minimum Front Yard Setback</i> ⁽¹⁾	25'
<i>Minimum Side Yard Setback</i> ^{(2) & (3)}	15' + ½ Height Over 36'
<i>Minimum Rear Yard Setback</i> ^{(2) & (3)}	10'
<i>Minimum Between Buildings</i> ^{(2) & (3)}	15' + ½ Height Over 36'
<i>Maximum Building Height</i> ⁽⁴⁾	60'
<i>Maximum Building Size</i>	N/A
<i>Maximum Lot Coverage</i>	60%
<i>Minimum Landscaping</i>	15%

General Notes:

- 1: From future right-of-way as shown on the adopted Master Thoroughfare Plan or as actually exists, whichever is greater.
- 2: Not to exceed 50-feet.
- 3: ½ Height Over 36-feet with a fire rated wall.
- 4: Building height may be increased up to 120-feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

Staff should note that while the applicant has submitted a concept plan showing the future of development of the subject property, nothing on this concept plan would exempt the applicant from the requirements of the Light Industrial (LI) District or the SH-276 Overlay (SH-276 OV) District. In addition, if this zoning change is approved and when the subject property is developed, the development will be required to conform to all the requirements of the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, and any other applicable local, state or federal requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *South Central Estates District*, which -- based on the *District Description for the South Central Estates District*

-- "...has the potential to have a mixture of land uses, but is currently relatively undeveloped." This section goes on to make the observation that "(a)long SH-276, there are currently some transitional commercial land uses and residential homes situated on long narrow lots." The subject property is one (1) of the transitional properties being referenced in this statement, having a lot depth of 2,678.33-feet and an existing 2,607 SF single-family home situated on it. The *Land Use Plan* for this district designates the subject property for Technology/Employment land uses, which is "...characterized by employment-oriented businesses, which are generally situated in larger centers (i.e. *Rockwall Technology Park*) with access to key transportation networks." In addition, the Light Industrial (LI) District is one (1) of the two (2) zoning districts permitted under this *Land Use Plan Designation*. Based on this, the applicant's request to change the zoning of the subject property from Agricultural (AG) District to a Light Industrial (LI) District conforms to the Comprehensive Plan.

INFRASTRUCTURE

Based on the proposed request, the following infrastructure is required to be constructed to provide adequate public services for any development of the subject property:

- (1) Roadways. At the time of development, the developer shall verify the right-of-way width of SH-276 to ensure that the right-of-way meets the Texas Department of Transportation's (TXDOT's) requirements.
- (2) Water. The subject property is located within the Blackland Water Supply Corporation's Certificate of Convenience and Necessity (CCN). Based on this the City will need a *Will Serve* letter from the Blackland Water Supply Corporation stating that they have the ability to serve the subject property and provide the necessary fire flows required by the City of Rockwall.
- (3) Wastewater. There is currently no wastewater infrastructure within 100-feet of the subject property. The applicant has indicated to staff that this site will be utilizing an *On-Site Sewage Facility (OSSF)* in accordance with Division 5, *On-Site Sewage Facility*, of the Municipal Code of Ordinances. This will be required to be reviewed and permitted through Rockwall County.
- (4) Drainage. Detention will be required and need to be sized per *Manning's C-Value* for the zoning designation. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing ponds on the subject property if this area is to be disturbed.

STAFF ANALYSIS

The proposed zoning change is consistent with the Unified Development Code (UDC), and conforms to the OURHometown Vision 2040 Comprehensive Plan.

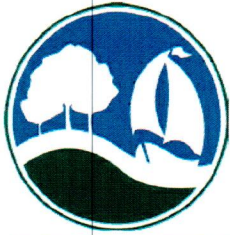
NOTIFICATIONS

On April 25, 2022, staff mailed 12 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any responses concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22022-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 4649 Hwy 276 Rockwall, TX 75032

SUBDIVISION J.H. Bailey Survey, Abstract No. 34

LOT

BLOCK

GENERAL LOCATION Approximately 250' southeast of the intersection of Sun Drive and SH 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE

Vacant Lot

PROPOSED ZONING LI

PROPOSED USE

Office/ Warehouse buildings

ACREAGE 14.78

LOTS [CURRENT]

2

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Donald Valk

APPLICANT Hellen Byrd

CONTACT PERSON Donald Valk

CONTACT PERSON Hellen Byrd

ADDRESS 1450 TL Townsend Dr. Ste 100

ADDRESS 1450 TL Townsend Dr. Ste 100

CITY, STATE & ZIP Rockwall, TX 75032

CITY, STATE & ZIP Rockwall, TX 75032

PHONE 972-722-2590

PHONE 972-722-2590 Ext.108

E-MAIL Don@Donvalk.com

E-MAIL Hellen@platinumtx.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DON VALK [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 4250 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 4/13/22 DAY OF April, 20 22 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED IN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF April, 20 22

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

5-10-2025



Statement of Intent and Purpose
Storage 365

On behalf of Storage 365, Platinum Construction requests approval of a zoning change from agricultural to light industrial to accommodate a mixture of commercial uses for the undeveloped property located at 4649 State Highway 276, Rockwall, TX, 75032. The goals and objectives of this effort is to accommodate a mixture of uses that provide a range of services for neighbors and the surrounding area. The development will be guided and shaped by proposed development conditions and exhibits to ensure a compatible addition to the area.

As the population of the area continues to grow, the demand for self-storage also grows. The sub-market shows a high occupancy rate at existing storage facilities. This proposal project will help meet demand while keeping prices competitive and reasonable. The office-warehouse for the flex buildings are designed to meet local neighborhood needs while providing an aesthetic retail front.

The proposal includes a total of 95,186-square feet of self-storage and mini warehouse. Buildings 1 and 2 will provide 54,436 SF of climate-controlled storage units. Building 1 will also be the front of the site and the leasing office will be located here. Buildings 2-6 will accommodate 40,750 SF of drive-up non-climate-controlled storage units.

The remainder of the property will contain 8 Flex buildings that will be used as office-warehouse or mini-warehouse with a total of 39,200 SF. All buildings will be one-story, 100% masonry on storage buildings 1,2 and flex building 8. The remaining buildings will be metal structures.

This proposal includes an Access Variance request to accommodate one point of access from Hwy 276. We believe this is critical to the success of our development. The limited frontage and the existing creek/headwall at the northeast corner impact the possibility of a second driveway meeting driveway spacing requirements.

The hours of operation for the self-storage facility would be 6AM-10PM, seven days a week. The self-storage portion would be secured by the perimeter buildings and fences/walls, as well as gated access for customers only. Security cameras and lighting will ensure security and safety for all customers and neighbors. The flex building tenants will not have access to the storage facility portion of the development.

As mentioned above, all buildings will be one-story in height with a mixture of masonry and metal buildings. Storage buildings 1, 2, and flex building 8 will be masonry, the remaining buildings metal. This will ensure that all areas of the facility that are visible from the road and residential district will look appealing. The site layout has been carefully constructed to bring a higher quality structure to the area. Perimeter storage buildings and connecting perimeter walls will seal the development from the residential/commercial neighbors. The large setback between the proposed building and neighbors will also include Red Tip Photinia's around the perimeter of the property for additional buffering and separation.

BEING ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE J.H. BAILEY SURVEY, ABSTRACT NOS. 34 & 44, ROCKWALL COUNTY, TEXAS AND BEING A PART OF A 15.00 ACRE TRACT OF LAND AS DESCRIBED IN DEED TO GEORGE R. HEARD AND MITZI HEARD, AS RECORDED IN VOLUME 1202, PAGE 50 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS;

BEGINNING AT A 5/8" IRON ROD WITH RED CAP FOUND IN THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276, SAID POINT BEING IN THE WEST LINE OF SAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE EAST LINE OF A 15.00 ACRE TRACT OF LAND AS DESCRIBED IN DEED TO COMMERCIAL CONSTRUCTION SPECIALTIES, LP, A TEXAS LIMITED PARTNERSHIP, AND RECORDED IN INSTRUMENT NUMBER 20190000023410 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS, SAID POINT BEING SOUTH AT A DISTANCE OF 18.28 FEET FROM THE NORTHEAST CORNER OF SAID 15.00 ACRE COMMERCIAL CONSTRUCTION SPECIALTIES, LP TRACT;

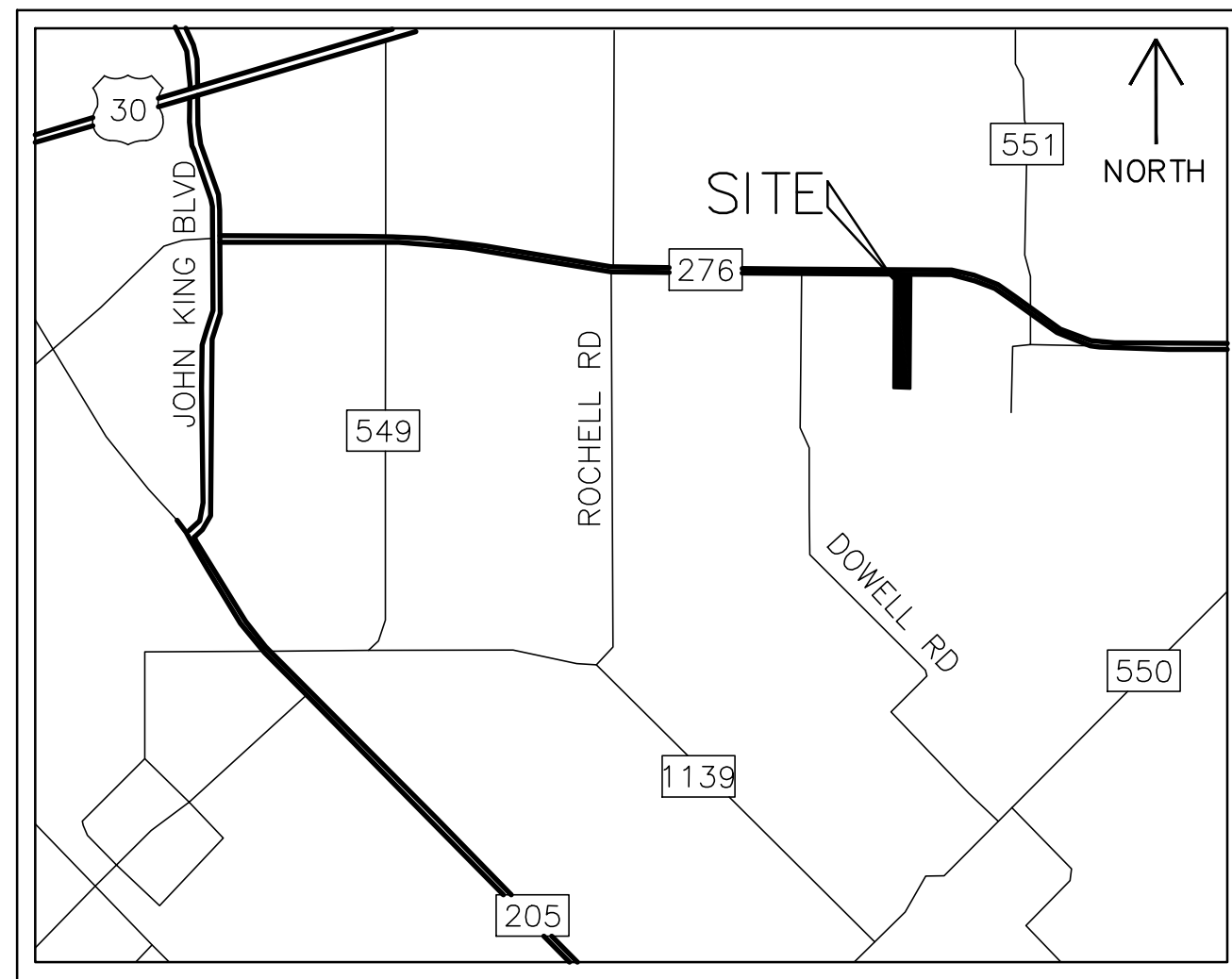
THENCE SOUTH 72° 55' 54" EAST AND FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276 FOR A DISTANCE OF 86.96 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE SOUTH 89° 20' 24" EAST AND FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276 FOR A DISTANCE OF 159.20 FEET TO A TXDOT MONUMENT FOUND FOR CORNER IN THE EAST LINE OF AFORESAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE WEST LINE OF A 10.04 ACRE TRACT OF LAND CONVEYED TO MICHAEL G. SARAGUSA AS RECORDED IN VOLUME 4131, PAGE 153 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 00° 00' 00" EAST AND DEPARTING THE SOUTH RIGHT-OF-WAY LINE OF SAID STATE HIGHWAY NO. 276 AND FOLLOWING THE EAST LINE OF SAID 15.00 ACRE GEORGE R. HEARD TRACT, COMMON WITH THE WEST LINE OF SAID 10.04 ACRE MICHAEL G. SARAGUSA TRACT FOR A DISTANCE OF 2650.60 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE SOUTHWEST CORNER OF SAID 10.04 ACRE MICHAEL G. SARAGUSA TRACT;

THENCE SOUTH 89° 54' 43" WEST AND FOLLOWING ALONG THE SOUTH LINE OF SAID 15.00 ACRE GEORGE R. HEARD TRACT FOR A DISTANCE OF 242.32 FEET TO A POINT FOR CORNER, FROM WHICH 1/2" IRON ROD FOUND BEARS NORTH 62° 32' 19" WEST AT A DISTANCE OF 0.76 FEET, SAID POINT BEING THE SOUTHEAST CORNER OF SAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE SOUTHEAST CORNER OF AFORESAID 15.00 ACRE COMMERCIAL CONSTRUCTION SPECIALTIES, LP TRACT;

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VICINITY MAP
N.T.S.

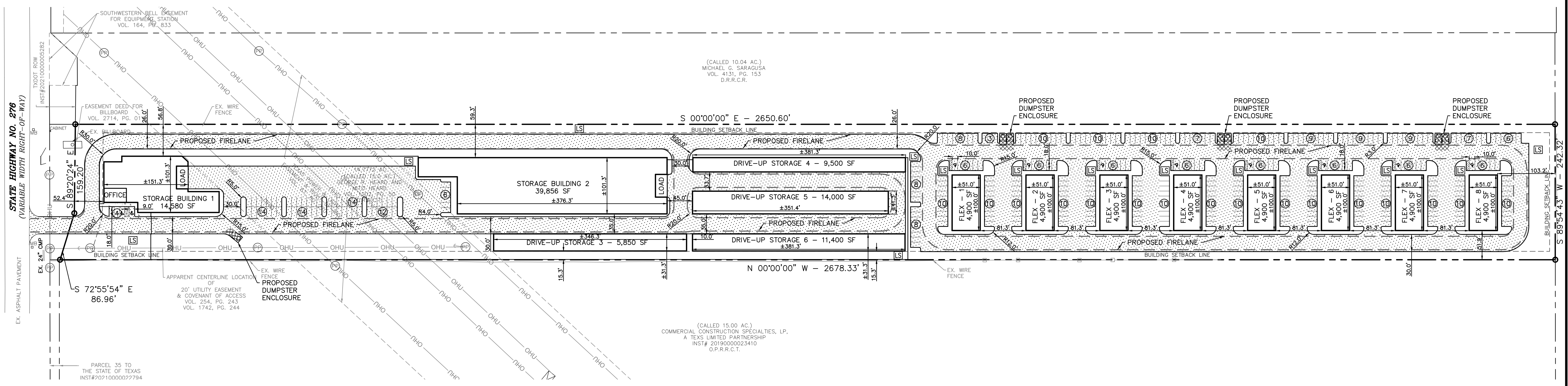
SITE DATA TABLE	
EXISTING ZONING:	AG WITH SH 276 OVERLAY
PROPOSED ZONING:	LI WITH SH 276 OVERLAY
LAND USE:	OFFICE/WAREHOUSE BUILDINGS
SITE ACREAGE:	14.78 ACRES (643,696 SQ FT)
STORAGE BUILDING FOOTPRINT:	95,186 SQUARE FEET
STORAGE BUILDING AREA:	95,186 SQUARE FEET
OFFICE/FLEX BUILDING FOOTPRINT:	39,200 SQUARE FEET
OFFICE/FLEX BUILDING AREA:	39,200 SQUARE FEET
TOTAL BUILDING FOOTPRINT:	134,386 SQUARE FEET
TOTAL BUILDING AREA:	134,386 SQUARE FEET
OPEN SPACE:	204,917/643,696 : 31.8%
PAVED SURFACE AREA:	304,393/643,696 : 47.3%
BUILDING HEIGHT:	1 STORY (30'-0" HEIGHT)
PARKING PROVIDED:	386 PARKING SPACES (10 ACCESSIBLE PARKING SPACES INCLUDED)

- PLAN NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
 - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS CONCEPT PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE CITY OF ROCKWALL, ADAPTED INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
 - THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.
 - A TYPICAL PARKING SPACE SHALL BE 9' WIDE AND 18' DEEP.

LEGEND

- EXISTING CURB
- PROPOSED CURB
- ⊗ PARKING SPACES IN A ROW
- PROPOSED LANDSCAPING
- 4" PROPOSED SIDEWALK 3,600 PSI REINFORCED CONCRETE WITH #3 BARS AT 18" CENTERS. (MINIMUM 6.5 SACK MIX)
- 6" PROPOSED PAVEMENT 4,500 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS AT 18" CENTERS. FIRELANES SHALL BE 7" 4,500 MINIMUM PSI WITH #4 BARS AT 18" CENTERS. (MINIMUM 7.0 SACK MIX).
- 8" 4,500 MINIMUM PSI REINFORCED CONCRETE PAVEMENT WITH NO. 5 AT 18" CENTERS. (MINIMUM 7.0 SACK MIX).

0 80 160
DRAWING SCALE
1"=80'



**III CAUTION III
UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: TEXAS ONE CALL @ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

SURVEYOR:
BLUE SKY SURVEYING & MAPPING
11015 MIDWAY ROAD
DALLAS, TX 75229
PH: (214) 358-4500

OWNER:
DONALD VALK
4649 HWY 276
ROCKWALL, TX 75032
PH: (972) 722-2590
CONTACT: HELLEN BYRD

ENGINEER:
CUMULUS DESIGN, INC.
FIRM NUMBER: 14810
PO BOX 2119
EULESS, TEXAS 76039
PH: (214) 235-0367
CONTACT: PAUL CRAGUN

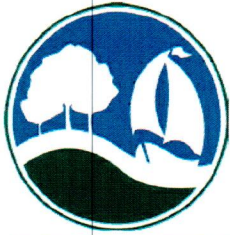
THIS DOCUMENT IS FOR SITE INFORMATION ONLY. IT IS RELEASED UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 04/13/22.

Cumulus Design Firm #14810
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050
Tel. 214.235.0367

CONCEPT PLAN
4649 HIGHWAY 276
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
J.H. BAILEY SURVEY, ABST NO. 34

DATE	PROJECT NO	DRAWING SCALE	SHEET
04/13/22	CD22011	1" = 80'	CP

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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22022-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 4649 Hwy 276 Rockwall, TX 75032

SUBDIVISION J.H. Bailey Survey, Abstract No. 34

LOT

BLOCK

GENERAL LOCATION Approximately 250' southeast of the intersection of Sun Drive and SH 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE

Vacant Lot

PROPOSED ZONING LI

PROPOSED USE

Office/ Warehouse buildings

ACREAGE 14.78

LOTS [CURRENT]

2

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Donald Valk

APPLICANT Hellen Byrd

CONTACT PERSON Donald Valk

CONTACT PERSON Hellen Byrd

ADDRESS 1450 TL Townsend Dr. Ste 100

ADDRESS 1450 TL Townsend Dr. Ste 100

CITY, STATE & ZIP Rockwall, TX 75032

CITY, STATE & ZIP Rockwall, TX 75032

PHONE 972-722-2590

PHONE 972-722-2590 Ext.108

E-MAIL Don@Donvalk.com

E-MAIL Hellen@platinumtx.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DON VALK [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 4250 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 4/13/22 DAY OF April, 20 22 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED IN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONNECTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13 DAY OF April, 20 22

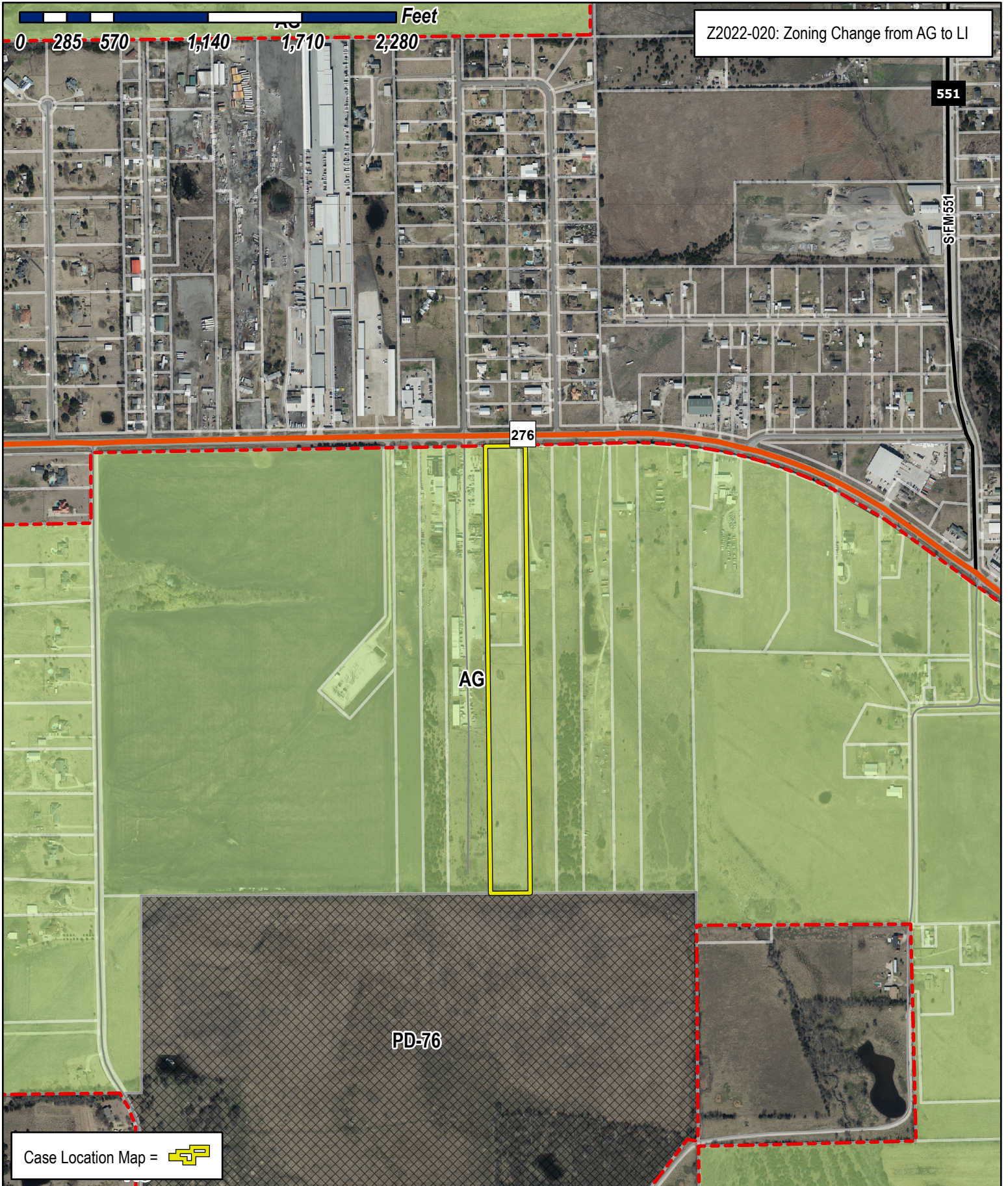
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

5-10-2025





Z2022-020: Zoning Change from AG to LI

551

SFM 551

276

AG

PD-76

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

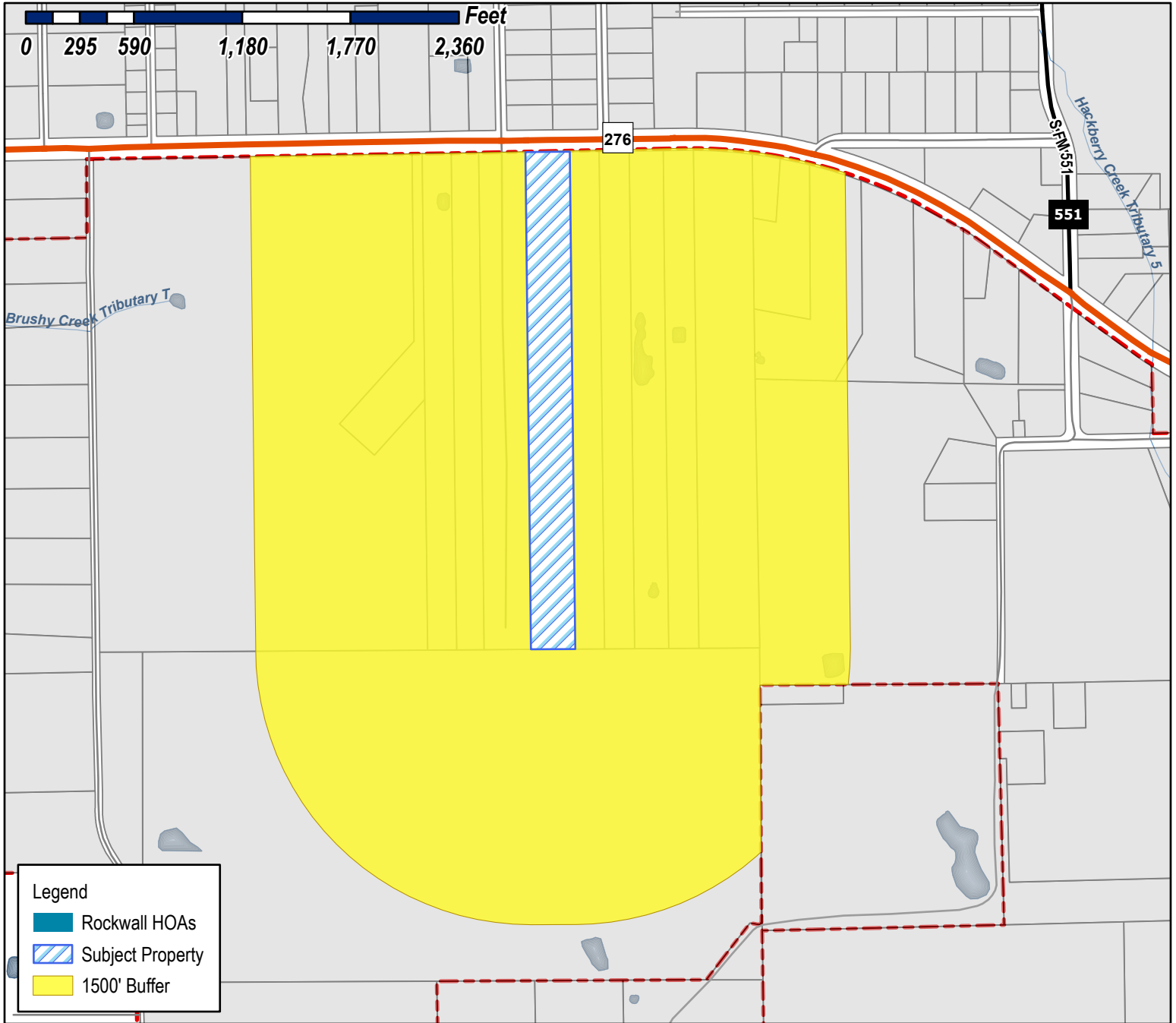




City of Rockwall

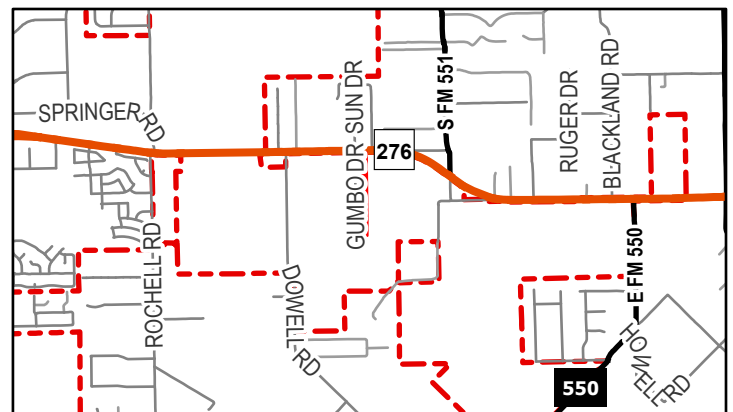
Planning & Zoning Department
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Case Number: Z2022-020
Case Name: Zoning Change from Ag to LI
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 4649 FM 3097

Date Saved: 4/14/2022
 For Questions on this Case Call (972) 771-7745

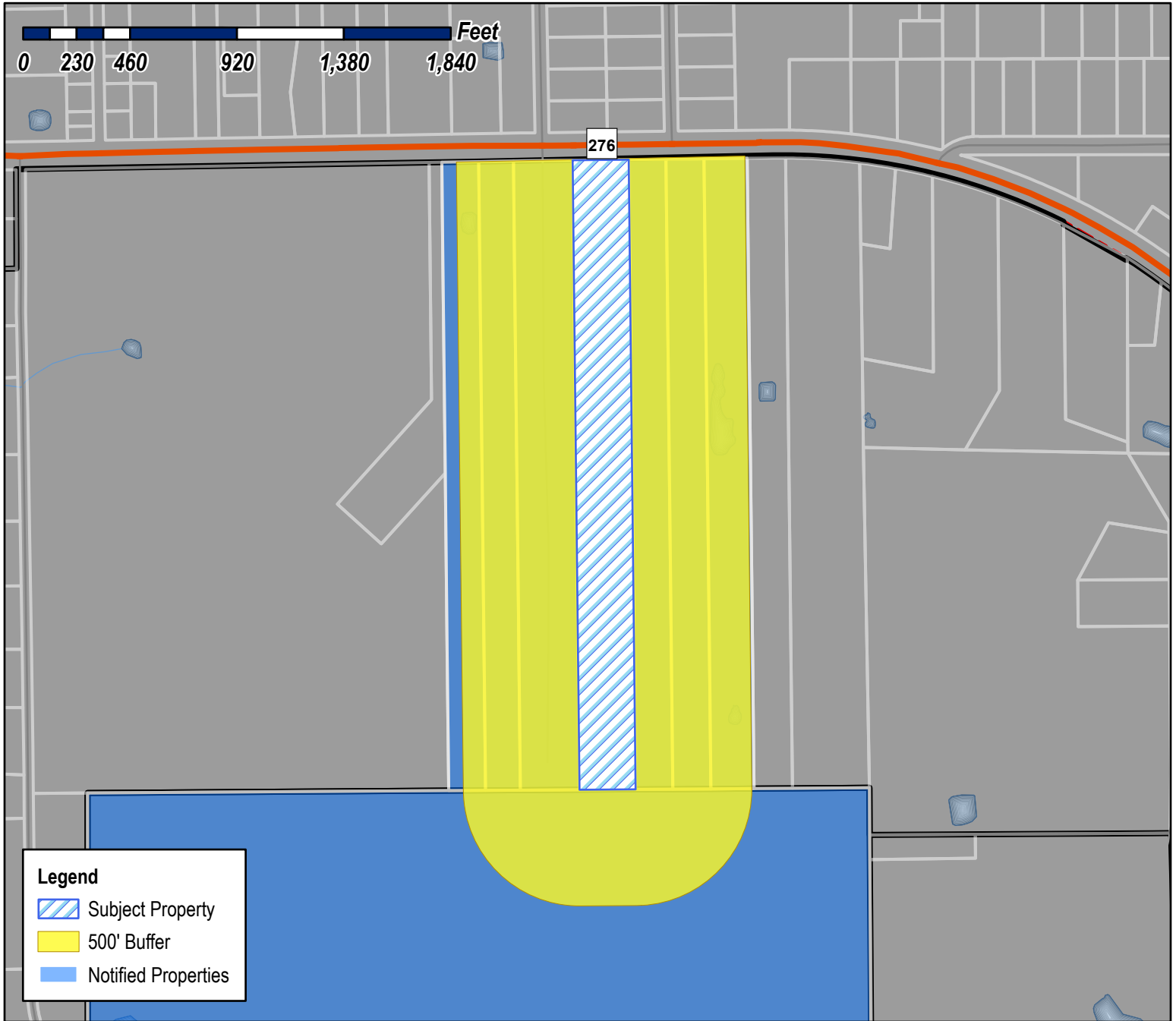




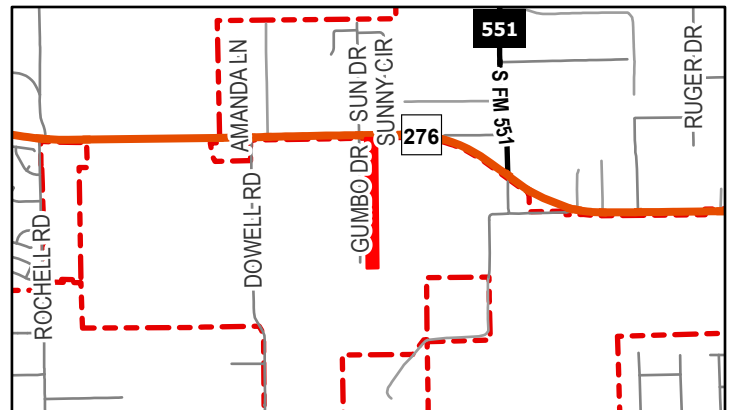
City of Rockwall

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385 S. Goliad Street
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Case Number: Z2022-020
Case Name: Zoning Change from AG to LI
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 4649 FM 276



Date Saved: 4/14/2022
 For Questions on this Case Call (972) 771-7745

COMMERCIAL CONSTRUCTION SPECIALTIES LP
10961 LAKESIDE DRIVE
QUINLAN, TX 75474

SARAGUSA MICHAEL G
1113 CHIMNEYROCK TRL
GARLAND, TX 75043

COMMERCIAL CONSTRUCTION SPECIALTIES LP
114 GUMBO
ROCKWALL, TX 75032

JOHNSON JAY LYNN
2018 SUNNY CIR
ROCKWALL, TX 75032

HARLAN PROPERTIES INC
2404 TEXAS DR STE 103
IRVING, TX 75062

TOMAINO PROPERTIES LP
2626 COLE AVE STE 606
DALLAS, TX 75204

SARAGUSA MICHAEL G
3290 HWY 276
ROCKWALL, TX 75032

BOBALIK STEVE A
4521 STATE HIGHWAY 276
ROCKWALL, TX 75032

HAWKINS RONALD & JENIREE
4571 HWY 276
ROCKWALL, TX 75032

HEARD GEORGE R
4649 HWY 276
ROCKWALL, TX 75032

HAWKINS RONALD & JENIREE
5005 BRIDGECREEK DR
ROCKWALL, TX 75032

HEARD GEORGE R
PO BOX 56
ATLANTA, TX 75551

Statement of Intent and Purpose
Storage 365

On behalf of Storage 365, Platinum Construction requests approval of a zoning change from agricultural to light industrial to accommodate a mixture of commercial uses for the undeveloped property located at 4649 State Highway 276, Rockwall, TX, 75032. The goals and objectives of this effort is to accommodate a mixture of uses that provide a range of services for neighbors and the surrounding area. The development will be guided and shaped by proposed development conditions and exhibits to ensure a compatible addition to the area.

As the population of the area continues to grow, the demand for self-storage also grows. The sub-market shows a high occupancy rate at existing storage facilities. This proposal project will help meet demand while keeping prices competitive and reasonable. The office-warehouse for the flex buildings are designed to meet local neighborhood needs while providing an aesthetic retail front.

The proposal includes a total of 95,186-square feet of self-storage and mini warehouse. Buildings 1 and 2 will provide 54,436 SF of climate-controlled storage units. Building 1 will also be the front of the site and the leasing office will be located here. Buildings 2-6 will accommodate 40,750 SF of drive-up non-climate-controlled storage units.

The remainder of the property will contain 8 Flex buildings that will be used as office-warehouse or mini-warehouse with a total of 39,200 SF. All buildings will be one-story, 100% masonry on storage buildings 1,2 and flex building 8. The remaining buildings will be metal structures.

This proposal includes an Access Variance request to accommodate one point of access from Hwy 276. We believe this is critical to the success of our development. The limited frontage and the existing creek/headwall at the northeast corner impact the possibility of a second driveway meeting driveway spacing requirements.

The hours of operation for the self-storage facility would be 6AM-10PM, seven days a week. The self-storage portion would be secured by the perimeter buildings and fences/walls, as well as gated access for customers only. Security cameras and lighting will ensure security and safety for all customers and neighbors. The flex building tenants will not have access to the storage facility portion of the development.

As mentioned above, all buildings will be one-story in height with a mixture of masonry and metal buildings. Storage buildings 1, 2, and flex building 8 will be masonry, the remaining buildings metal. This will ensure that all areas of the facility that are visible from the road and residential district will look appealing. The site layout has been carefully constructed to bring a higher quality structure to the area. Perimeter storage buildings and connecting perimeter walls will seal the development from the residential/commercial neighbors. The large setback between the proposed building and neighbors will also include Red Tip Photinia's around the perimeter of the property for additional buffering and separation.

BEING ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE J.H. BAILEY SURVEY, ABSTRACT NOS. 34 & 44, ROCKWALL COUNTY, TEXAS AND BEING A PART OF A 15.00 ACRE TRACT OF LAND AS DESCRIBED IN DEED TO GEORGE R. HEARD AND MITZI HEARD, AS RECORDED IN VOLUME 1202, PAGE 50 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS;

BEGINNING AT A 5/8" IRON ROD WITH RED CAP FOUND IN THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276, SAID POINT BEING IN THE WEST LINE OF SAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE EAST LINE OF A 15.00 ACRE TRACT OF LAND AS DESCRIBED IN DEED TO COMMERCIAL CONSTRUCTION SPECIALTIES, LP, A TEXAS LIMITED PARTNERSHIP, AND RECORDED IN INSTRUMENT NUMBER 20190000023410 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS, SAID POINT BEING SOUTH AT A DISTANCE OF 18.28 FEET FROM THE NORTHEAST CORNER OF SAID 15.00 ACRE COMMERCIAL CONSTRUCTION SPECIALTIES, LP TRACT;

THENCE SOUTH 72° 55' 54" EAST AND FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276 FOR A DISTANCE OF 86.96 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE SOUTH 89° 20' 24" EAST AND FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276 FOR A DISTANCE OF 159.20 FEET TO A TXDOT MONUMENT FOUND FOR CORNER IN THE EAST LINE OF AFORESAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE WEST LINE OF A 10.04 ACRE TRACT OF LAND CONVEYED TO MICHAEL G. SARAGUSA AS RECORDED IN VOLUME 4131, PAGE 153 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS;

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SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:

BEING ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE J.H. BAILEY SURVEY, ABSTRACT NOS. 34 & 44, ROCKWALL COUNTY, TEXAS AND BEING A PART OF A 15.00 ACRE TRACT OF LAND AS DESCRIBED IN DEED TO GEORGE R. HEARD AND MITZI HEARD, AS RECORDED IN VOLUME 1202, PAGE 50 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

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DESCRIPTION (CONTINUED)

THENCE SOUTH 00° 00' 00" EAST AND DEPARTING THE SOUTH RIGHT-OF-WAY LINE OF SAID STATE HIGHWAY NO. 276 AND FOLLOWING THE EAST LINE OF SAID 15.00 ACRE GEORGE R. HEARD TRACT, COMMON WITH THE WEST LINE OF SAID 10.04 ACRE MICHAEL G. SARAGUSA TRACT FOR A DISTANCE OF 2650.60 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE SOUTHWEST CORNER OF SAID 10.04 ACRE MICHAEL G. SARAGUSA TRACT;

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~ LINE TABLE ~

NO.	BEARING	DISTANCE
L1	S 72°55'54" E	86.96'
L2	S 89°20'24" E	159.20'

TITLE NOTES

ACCORDING TO THE COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY (GF NO. 1002-355741-RTT) EFFECTIVE DATE OF JANUARY 12, 2022 AND ISSUED DATE OF JANUARY 18, 2022, THE FOLLOWING MATTERS OF RECORD ARE ITEMIZED AS EXCEPTIONS TO TITLE COVERAGE ON SCHEDULE B THEREOF;

10(E). EASEMENT TO TEXAS POWER & LIGHT COMPANY FROM ANNIE EVERETT AND HUSBAND, BERT EVERETT FILED MARCH 19, 1983 AS RECORDED IN VOLUME 67, PAGE 270, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS. (SURVEYOR'S NOTE: LOCATED ON SUBJECT PROPERTY, AS SHOWN ON SURVEY)

10(F). EASEMENT TO BLACKLAND WATER SUPPLY CORPORATION FROM BERT EVERETT AND WIFE, ANNIE EVERETT FILED MAY 20, 1986 AS RECORDED IN VOLUME 75, PAGE 561, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS. (SURVEYOR'S NOTE: SUBJECT PROPERTY IS A PORTION OF THE 112 ACRE TRACT DESCRIBED IN THE DOCUMENT HEREIN; 10' PIPELINE EASEMENT, THE CENTERLINE OF WHICH IS LOCATED OVER THE PHYSICAL LINE AS IT IS LAID, OTHERWISE BLANKET IN NATURE, WITH RIGHTS TO RELOCATE SAID LINE IN THE SAME RELATIVE POSITION TO ANY ADJACENT LAND, IF SAME IS WIDENED IN THE FUTURE)

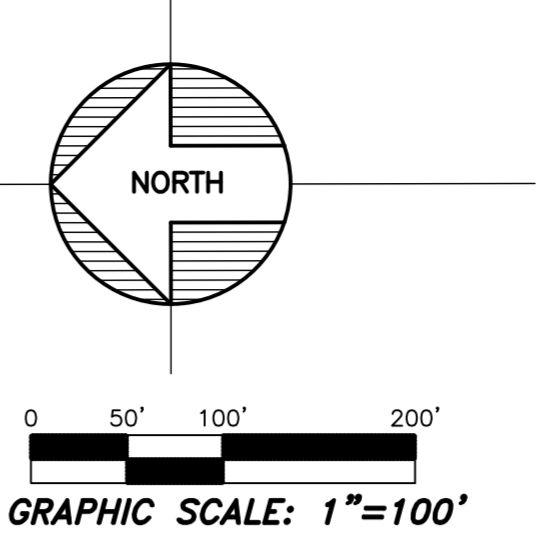
10(G). EASEMENT TO SOUTHWESTERN BELL TELEPHONE COMPANY FROM ROY B. CAMPBELL FILED MAY 07, 1982 AS RECORDED IN VOLUME 164, PAGE 833, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS. (SURVEYOR'S NOTE: EASEMENT IS LOCATED OFFSITE SUBJECT PROPERTY, AS SHOWN ON SURVEY)

10(H). EASEMENT TO FARMERS ELECTRIC COOPERATIVE, INC. FROM ENRIQUE AND FRANCISCA RIVERA FILED APRIL 07, 1986 AS RECORDED IN VOLUME 254, PAGE 243, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS. (SURVEYOR'S NOTE: LOCATED ON SUBJECT PROPERTY; 20' EASEMENT, THE CENTERLINE OF WHICH IS LOCATED OVER THE PHYSICAL LINES, POLES, AND OTHER FACILITIES AS THEY ARE LAID, OTHERWISE BLANKET IN NATURE; APPARENT LOCATION OF POLES IS LOCATED ON SUBJECT PROPERTY, AS SHOWN ON SURVEY)

10(I). EASEMENT TO FARMERS ELECTRIC COOPERATIVE, INC. FROM GEORGE R. HEARD AND MITZI HEARD FILED NOVEMBER 1, 1999 AS RECORDED IN VOLUME 1742, PAGE 244, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS. (SURVEYOR'S NOTE: LOCATED ON SUBJECT PROPERTY; 20' EASEMENT, THE CENTERLINE OF WHICH IS LOCATED OVER THE PHYSICAL LINES, POLES, AND OTHER FACILITIES AS THEY ARE LAID, OTHERWISE BLANKET IN NATURE; APPARENT LOCATION OF POLES IS LOCATED ON SUBJECT PROPERTY, AS SHOWN ON SURVEY)

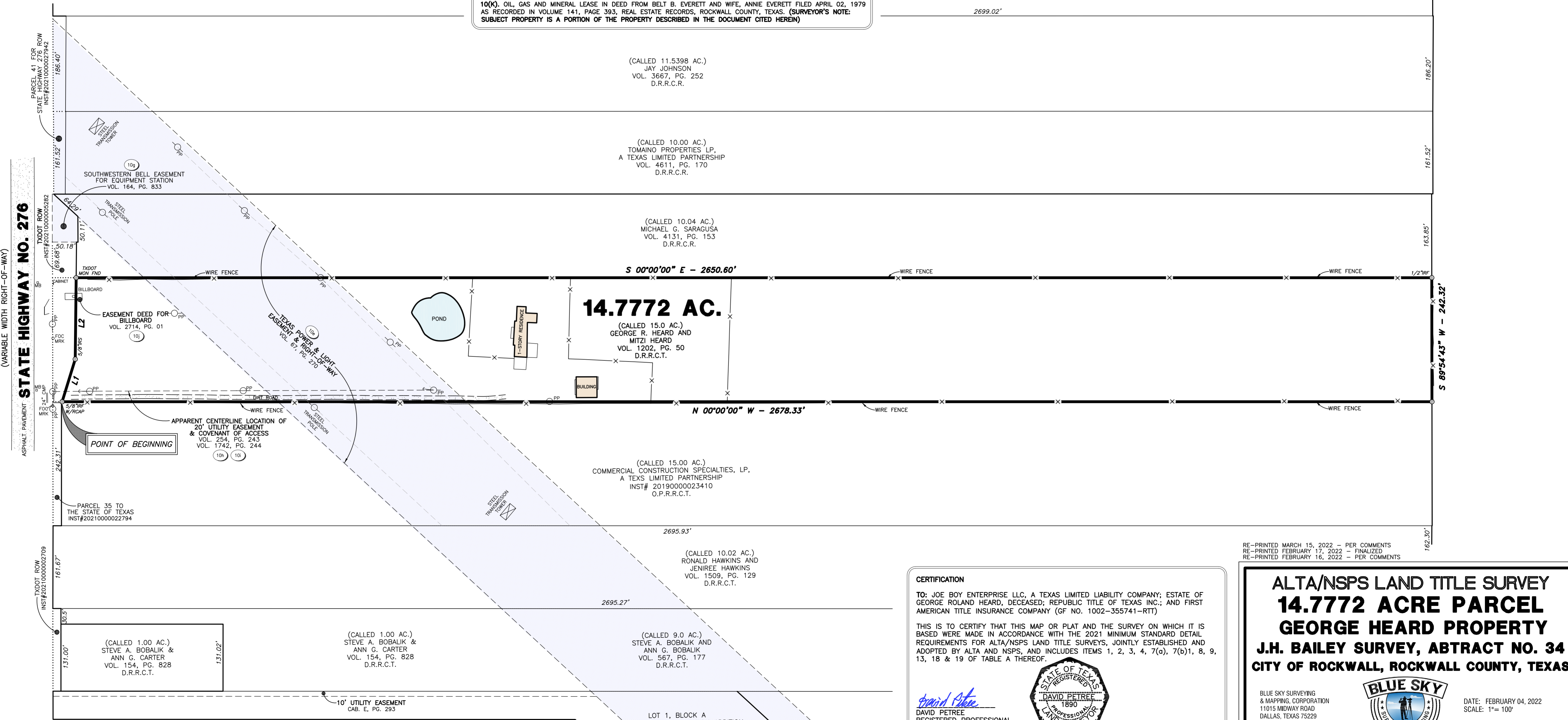
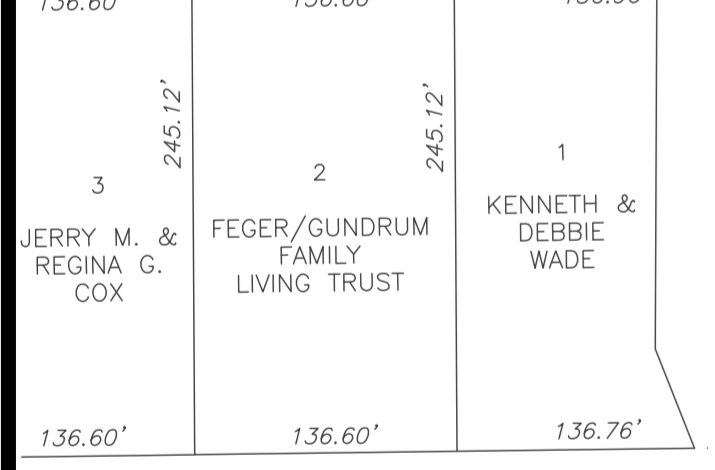
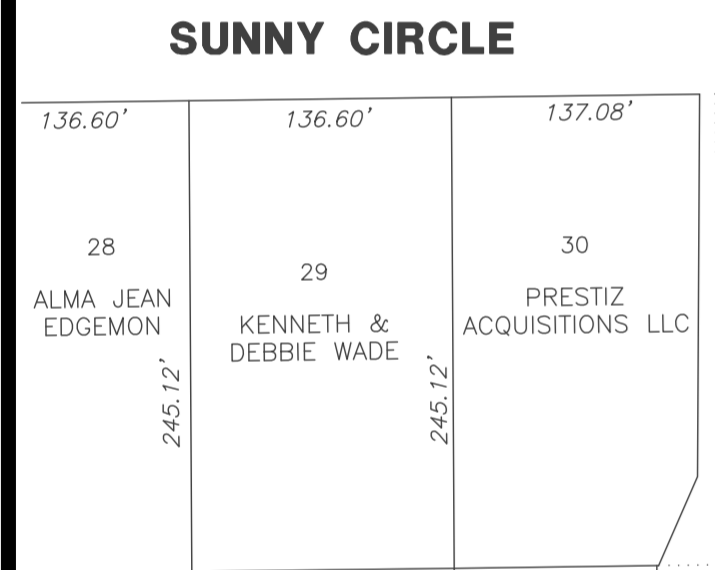
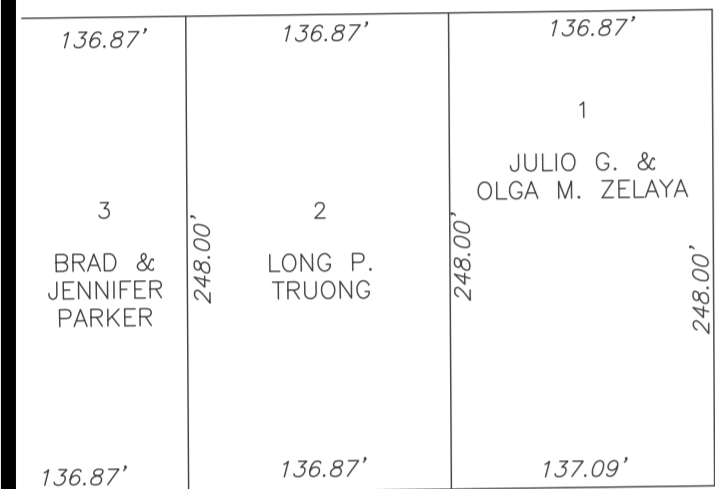
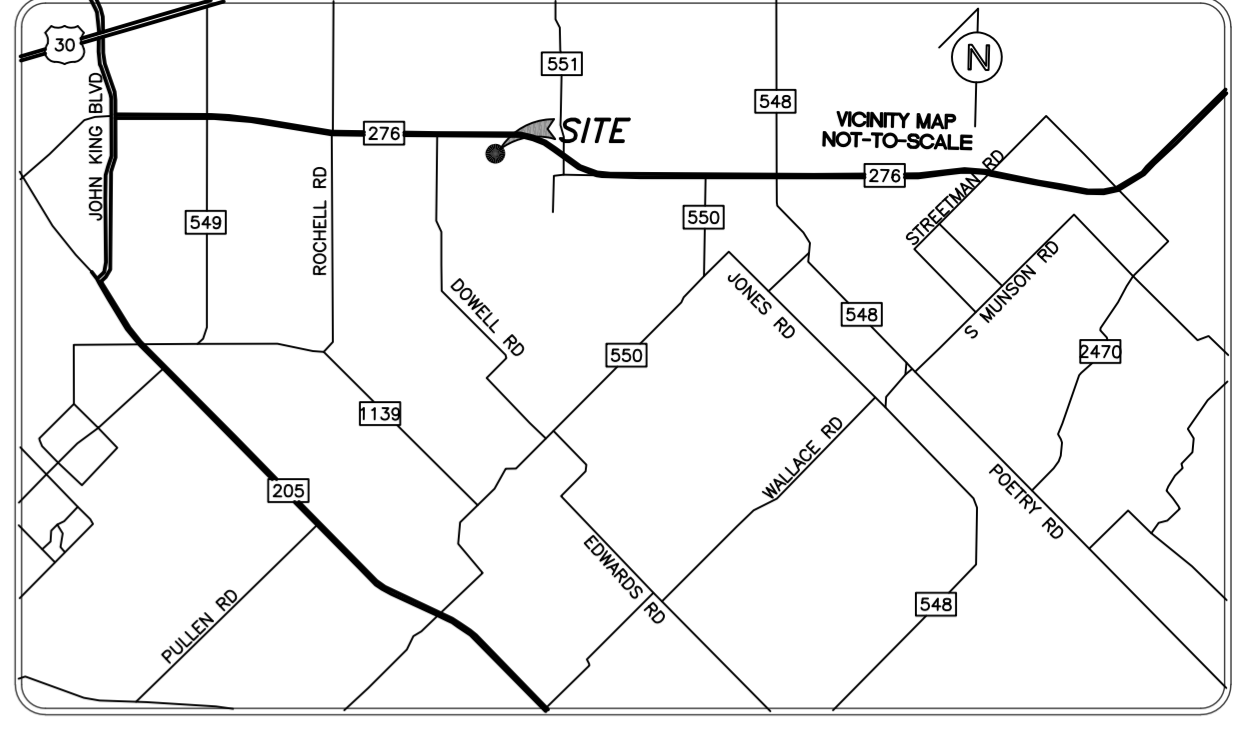
10(J). EASEMENT TO STUART M. REEVES FROM GEORGE R. HEARD AND WIFE, DEBBIE K. HEARD FILED OCTOBER 25, 2002 AS RECORDED IN VOLUME 2714, PAGE 01, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS. (SURVEYOR'S NOTE: EASEMENT DEED FOR BILLBOARD LOCATED ON SUBJECT PROPERTY, AS SHOWN ON SURVEY)

10(K). OIL, GAS AND MINERAL LEASE IN DEED FROM BELT B. EVERETT AND WIFE, ANNIE EVERETT FILED APRIL 02, 1979 AS RECORDED IN VOLUME 141, PAGE 393, REAL ESTATE RECORDS, ROCKWALL COUNTY, TEXAS. (SURVEYOR'S NOTE: SUBJECT PROPERTY IS A PORTION OF THE PROPERTY DESCRIBED IN THE DOCUMENT CITED HEREIN)



LEGEND

- F.H. FIRE HYDRANT
- *X* CHISELED "X" SET
- *Y* CHISELED "Y" FOUND
- IRF IRON ROD FOUND (SIZE AS NOTED)
- IRS IRON ROD SET (SIZE AS NOTED)
- PP OVERHEAD UTILITY POLE W/ GUY
- SMH SANITARY SEWER MANHOLE
- WMH WATER MANHOLE
- SWR SAN. SWR. CLEAN OUT
- WV WATER VALVE
- WM WATER METER
- B BOLLARD
- SP SIGNAL POLE
- SB SIGNAL BOX
- SV SIGNAL VAULT
- EV ELECTRIC BOX
- EVV ELECTRIC VAULT
- SS STREET SIGN
- CM CABLE MARKER
- CB CABLE BOX
- S SIGN
- OAS AUTO SPRINKLER
- TPAD TRANSFORMER PAD
- LP LIGHT POLE
- TITLE NOTE REFERENCE
- PARKING COUNT
- TREE



(CALLED 10.0 AC.)
SHERRY ZACHARY REVOCABLE LIVING TRUST
INST#2019000003243
O.P.R.R.C.T.
2699.02'

(CALLED 11.5398 AC.)
JAY JOHNSON
VOL. 3667, PG. 252
D.R.R.C.R.

(CALLED 10.00 AC.)
TOMAINO PROPERTIES LP,
A TEXAS LIMITED PARTNERSHIP
VOL. 4611, PG. 170
D.R.R.C.R.

(CALLED 10.04 AC.)
MICHAEL G. SARAGUSA
VOL. 4131, PG. 153
D.R.R.C.R.

(CALLED 15.0 AC.)
GEORGE R. HEARD AND
MITZI HEARD
VOL. 1202, PG. 50
D.R.R.C.T.

(CALLED 15.00 AC.)
COMMERCIAL CONSTRUCTION SPECIALTIES, LP,
A TEXS LIMITED PARTNERSHIP
INST# 20190000023410
O.P.R.R.C.T.

(CALLED 10.02 AC.)
RONALD HAWKINS AND
JENIREE HAWKINS
VOL. 1509, PG. 129
D.R.R.C.T.

(CALLED 9.0 AC.)
STEVE A. BOBALIK AND
ANN G. BOBALIK
VOL. 567, PG. 177
D.R.R.C.T.

(CALLED 1.00 AC.)
STEVE A. BOBALIK &
ANN G. CARTER
VOL. 154, PG. 828
D.R.R.C.T.

(CALLED 1.00 AC.)
STEVE A. BOBALIK &
ANN G. CARTER
VOL. 154, PG. 828
D.R.R.C.T.

LOT 1, BLOCK A
ROCKWALL EAST SUBSTATION ADDITION
CAB. E. PG. 293

CERTIFICATION

TO: JOE BOY ENTERPRISE LLC, A TEXAS LIMITED LIABILITY COMPANY; ESTATE OF GEORGE ROLAND HEARD, DECEASED; REPUBLIC TITLE OF TEXAS INC.; AND FIRST AMERICAN TITLE INSURANCE COMPANY (GF NO. 1002-355741-RTT)

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, 13, 18 & 19 OF TABLE A THEREOF.

DAVID PETREE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 1890

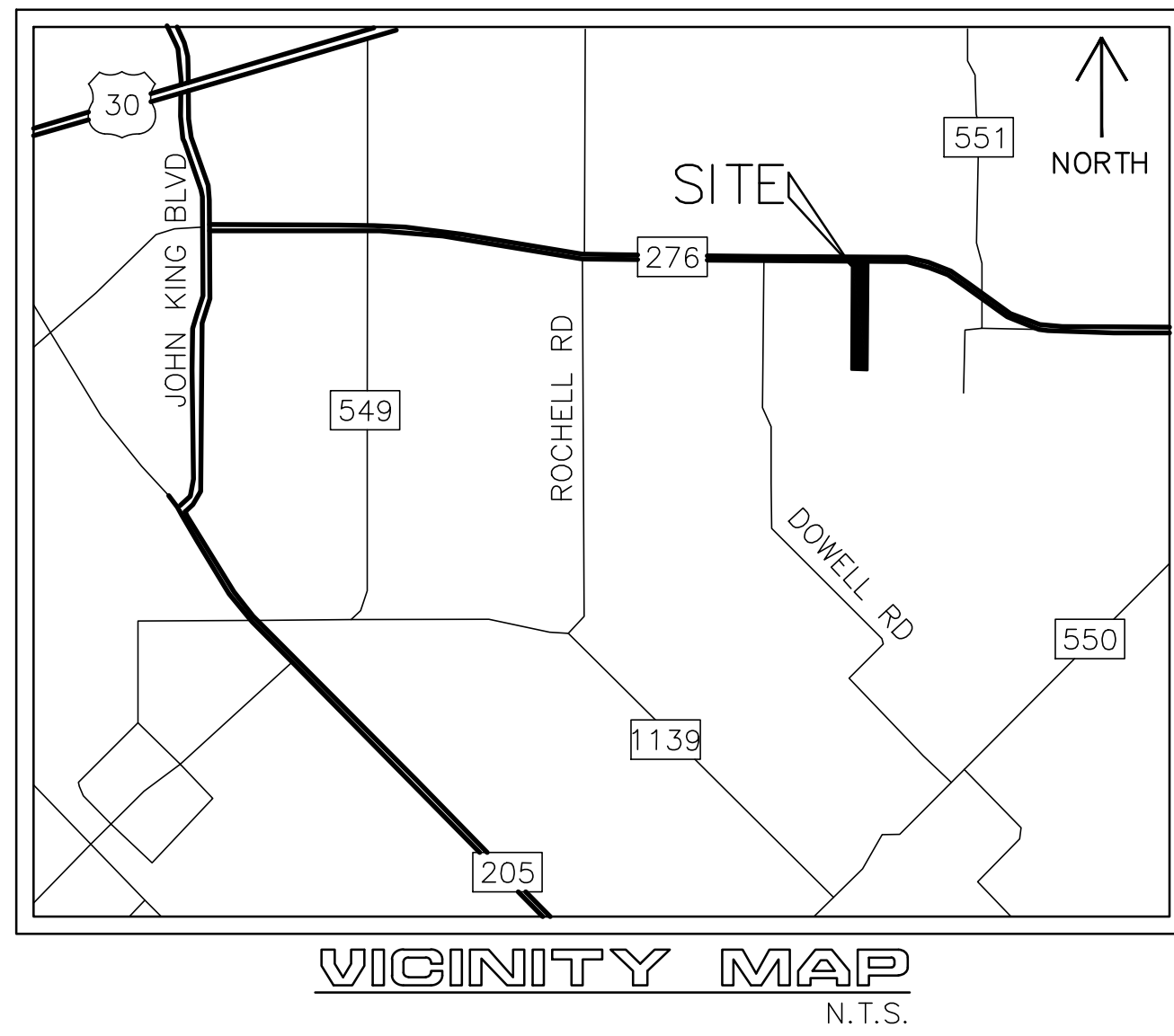
RE-PRINTED MARCH 15, 2022 - PER COMMENTS
RE-PRINTED FEBRUARY 17, 2022 - FINALIZED
RE-PRINTED FEBRUARY 16, 2022 - PER COMMENTS

ALTA/NSPS LAND TITLE SURVEY
14.7772 ACRE PARCEL
GEORGE HEARD PROPERTY
J.H. BAILEY SURVEY, ABSTRACT NO. 34
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

BLUE SKY SURVEYING & MAPPING CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
FAX: (214) 358-4600

DATE: FEBRUARY 04, 2022
SCALE: 1"=100'

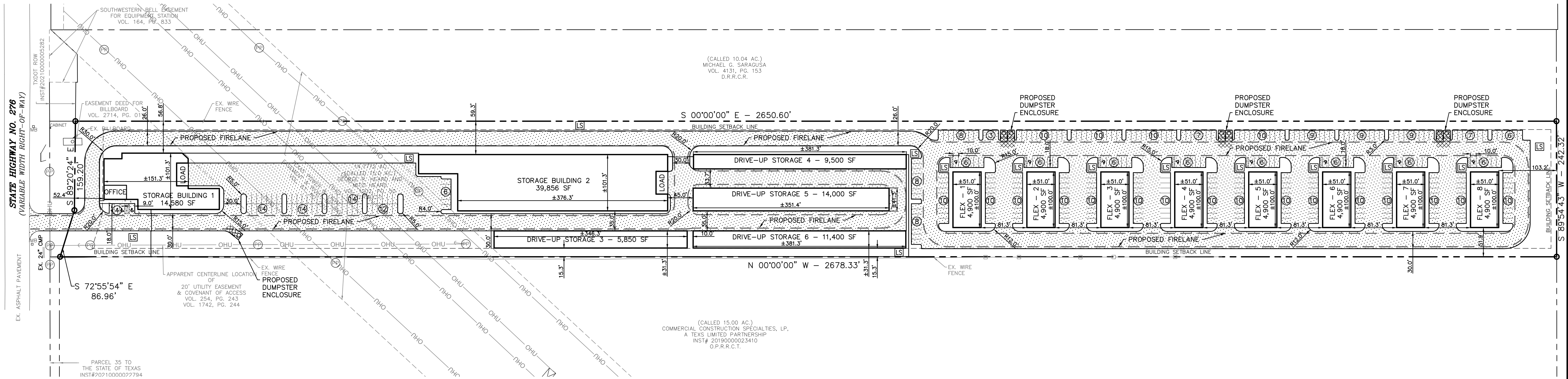
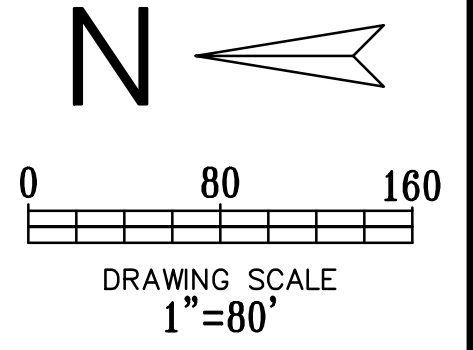
DRPETREE@BLUESKYSURVEYING.COM
TBPLS REGISTRATION NO. 10105700



SITE DATA TABLE	
EXISTING ZONING:	AG WITH SH 276 OVERLAY
PROPOSED ZONING:	LI WITH SH 276 OVERLAY
LAND USE:	OFFICE/WAREHOUSE BUILDINGS
SITE ACREAGE:	14.78 ACRES (643,696 SQ FT)
STORAGE BUILDING FOOTPRINT:	95,186 SQUARE FEET
STORAGE BUILDING AREA:	95,186 SQUARE FEET
OFFICE/FLEX BUILDING FOOTPRINT:	39,200 SQUARE FEET
OFFICE/FLEX BUILDING AREA:	39,200 SQUARE FEET
TOTAL BUILDING FOOTPRINT:	134,386 SQUARE FEET
TOTAL BUILDING AREA:	134,386 SQUARE FEET
OPEN SPACE:	204,917/643,696 : 31.8%
PAVED SURFACE AREA:	304,393/643,696 : 47.3%
BUILDING HEIGHT:	1 STORY (30'-0" HEIGHT)
PARKING PROVIDED:	386 PARKING SPACES (10 ACCESSIBLE PARKING SPACES INCLUDED)

- PLAN NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE INDICATED.
 - ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHOULD INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
 - ANY CONSTRUCTION OR BUILDING NECESSARY TO COMPLETE THIS CONCEPT PLAN REQUEST MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFIED DEVELOPMENT CODE, THE CITY OF ROCKWALL, ADAPTED INTERNATIONAL BUILDING CODE, THE ROCKWALL MUNICIPAL CODE OF ORDINANCES, CITY ADOPTED ENGINEERING AND FIRE CODES AND WITH ALL OTHER APPLICABLE REGULATORY REQUIREMENTS ADMINISTERED AND/OR ENFORCED BY THE STATE AND FEDERAL GOVERNMENT.
 - THE MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED AND BE SCREENED FROM PUBLIC VIEW.
 - A TYPICAL PARKING SPACE SHALL BE 9' WIDE AND 18' DEEP.

- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - PARKING SPACES IN A ROW
 - PROPOSED LANDSCAPING
 - 4" PROPOSED SIDEWALK 3,600 PSI REINFORCED CONCRETE WITH #3 BARS AT 18" CENTERS. (MINIMUM 6.5 SACK MIX)
 - 6" PROPOSED PAVEMENT 4,500 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS AT 18" CENTERS. FIRELANES SHALL BE 7" 4,500 MINIMUM PSI WITH #4 BARS AT 18" CENTERS. (MINIMUM 7.0 SACK MIX).
 - 8" 4,500 MINIMUM PSI REINFORCED CONCRETE PAVEMENT WITH NO. 5 AT 18" CENTERS. (MINIMUM 7.0 SACK MIX).



THIS DOCUMENT IS FOR SITE INFORMATION ONLY. IT IS RELEASED UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 04/13/22.

Cumulus Design Firm #14810
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050
Tel. 214.235.0367

CONCEPT PLAN
4649 HIGHWAY 276
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
J.H. BAILEY SURVEY, ABST NO. 34

DATE	PROJECT NO	DRAWING SCALE	SHEET
04/13/22	CD22011	1" = 80'	CP

III CAUTION III UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.

CALL: TEXAS ONE CALL @ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

SURVEYOR:
BLUE SKY SURVEYING & MAPPING
11015 MIDWAY ROAD
DALLAS, TX 75229
PH: (214) 358-4500

OWNER:
DONALD VALK
4649 HWY 276
ROCKWALL, TX 75032
PH: (972) 722-2590
CONTACT: HELLEN BYRD

ENGINEER:
CUMULUS DESIGN, INC.
FIRM NUMBER: 14810
PO BOX 2119
EULESS, TEXAS 76039
PH: (214) 235-0367
CONTACT: PAUL CRAGUN

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17 SOUTH CENTRAL ESTATES DISTRICT

DISTRICT DESCRIPTION

The *South Central Estates District* has the potential to have a mixture of land uses, but is currently relatively undeveloped. The district does have a low density (*i.e. Equestrian Meadows*) and a medium density (*i.e. West View*) subdivision situated within the southern portions of the district. Along SH-276, there are currently some transitional commercial land uses and residential homes situated on long narrow lots. This district is projected to transition to more intense commercial land uses along SH-276, but still maintain estate and rural residential land uses south of SH-276. Much of the areas along SH-276 will depend on the viability and alignment of the future Outer Loop.

POINTS OF REFERENCE

- A. Equestrian Meadows Subdivision
- B. Westhaven Subdivision

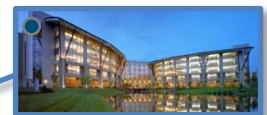
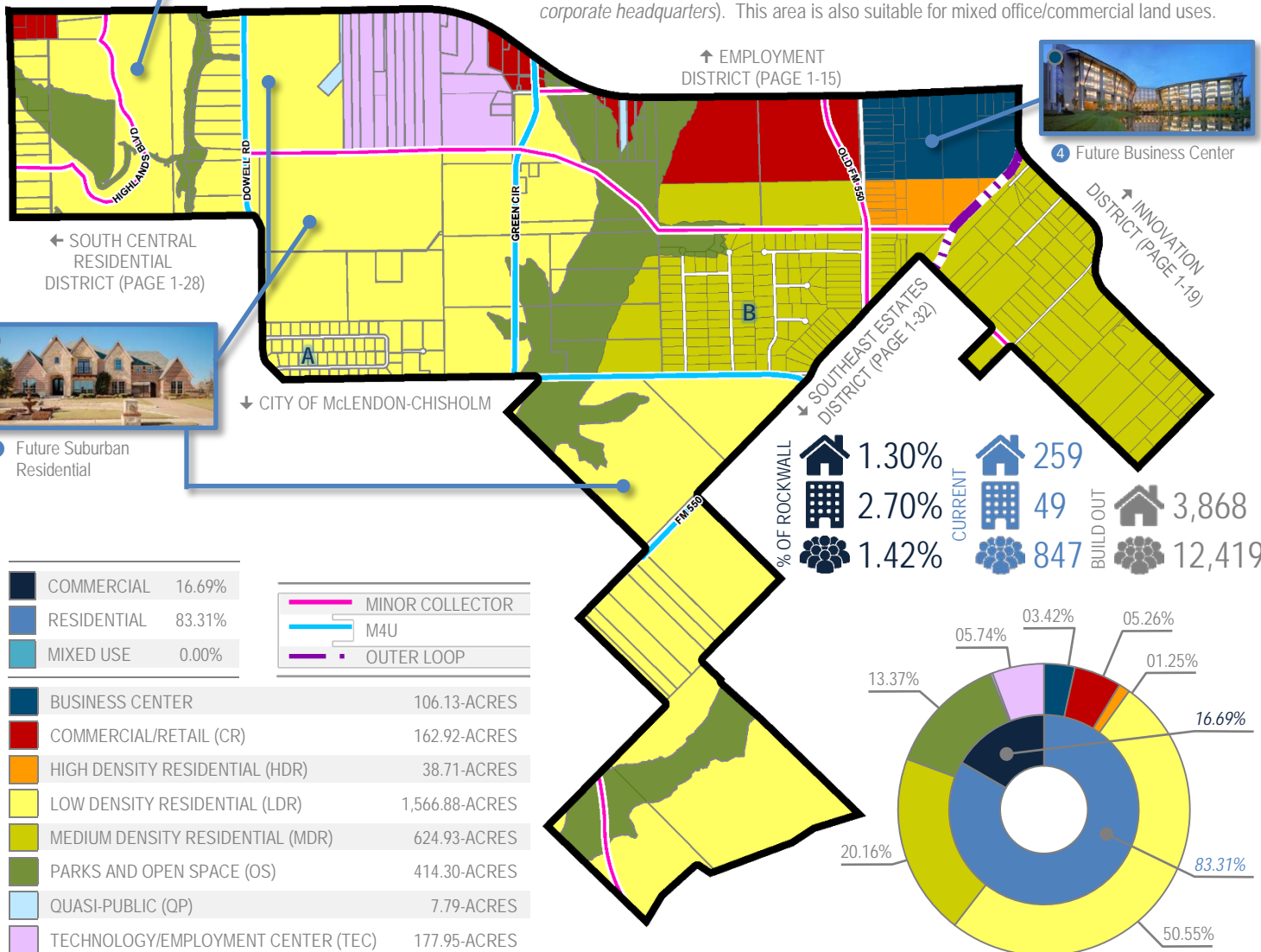
LAND USE PALETTES

- Current Land Use
- Future Land Use



2 Future Suburban Residential

↑ TECHNOLOGY DISTRICT (PAGE 1-31)



4 Future Business Center



2 Future Suburban Residential

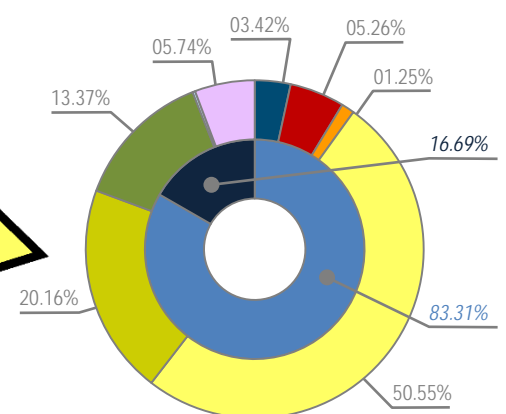
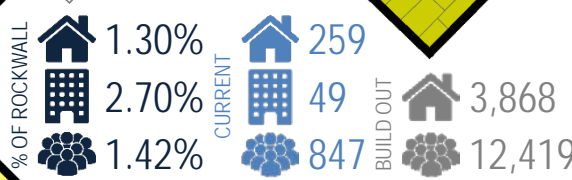
■ COMMERCIAL	16.69%	— MINOR COLLECTOR
■ RESIDENTIAL	83.31%	— M4U
■ MIXED USE	0.00%	— OUTER LOOP

■ BUSINESS CENTER	106.13-ACRES
■ COMMERCIAL/RETAIL (CR)	162.92-ACRES
■ HIGH DENSITY RESIDENTIAL (HDR)	38.71-ACRES
■ LOW DENSITY RESIDENTIAL (LDR)	1,566.88-ACRES
■ MEDIUM DENSITY RESIDENTIAL (MDR)	624.93-ACRES
■ PARKS AND OPEN SPACE (OS)	414.30-ACRES
■ QUASI-PUBLIC (QP)	7.79-ACRES
■ TECHNOLOGY/EMPLOYMENT CENTER (TEC)	177.95-ACRES

DISTRICT STRATEGIES

Taking into account that the *South Central Estates District* has a large amount of mostly vacant or raw land with limited access to infrastructure (*i.e. water and wastewater facilities*), the following are the recommended strategies for this district:

- 1 **Opportunity Zone** (*Intersection of SH-276 & FM-548*). When constructed this intersection will be a major land use node in the district and have the potential to provide employment and professional campus land uses mixed with entertainment, restaurant and retail land uses that can create an "18-Hour" environment (*i.e. an environment that provides the ability to live, work, shop and dine*).
- 2 **Suburban Residential**. The district has several large tracts of land that can support highly amenitized master planned communities. Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (*e.g. larger lots or a large landscape buffer*) adjacent to the existing subdivision. Due to the availability of infrastructure residential in this area may also be suitable for 1½-acre lots with septic systems.
- 3 **Commercial/Retail Centers**. Due to the anticipated alignment of the Outer Loop (*i.e. current alignment of FM-548*), the commercial/retail centers along SH-276 are ideal for larger scale retail businesses and restaurants that could support any office or residential development in the area. These areas could also provide neighborhood service uses intended to allow smaller commercial uses that can support adjacent residential land uses. All commercial developments should incorporate appropriate screening (*e.g. berms, landscaping and large buffers*) to transition uses.
- 4 **Business Center**. The areas designated as *Business Center* are intended to provide space for larger office facilities and combination manufacturing/warehouse and office facilities (*e.g. corporate headquarters*). This area is also suitable for mixed office/commercial land uses.



LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	P
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		P
Animal Shelter or Loafing Shed	(6)		P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
College, University, or Seminary	(5)		P
Convalescent Care Facility/Nursing Home	(6)		S
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Crematorium	(8)		S
Daycare with Seven (7) or More Children	(9)	(4)	S
Emergency Ground Ambulance Services	(10)		P
Government Facility	(12)		P
Hospice	(14)		S
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Regional Post Office	(19)		P
Prison/Custodial Institution	(20)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Rescue Mission or Shelter for the Homeless	(24)		P
Social Service Provider (Except Rescue Mission or Homeless Shelter)	(25)		P
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P

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PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
Financial Institution without Drive-Through	(1)		P
Office Building less than 5,000 SF	(2)		P
Office Building 5,000 SF or Greater	(2)		P
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	P
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		P
Golf Driving Range	(6)		P
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	P
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	P
Private Sports Arena, Stadium, and/or Track	(11)		P
Public Park or Playground	(12)		P
Sexually Oriented Businesses [Art. XI; CH. 12; Municipal Code]	(13)	(7)	S
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		P
Theater	(15)		P
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Portable Beverage Service Facility	(4)	(1)	S
Brew Pub	(5)		P
Business School	(6)		P
Catering Service	(7)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(8)	(2)	P
Copy Center	(9)		P
Craft/Micro Brewery, Distillery and/or Winery	(10)	(3)	P
Incidental Display	(11)	(4)	P
Food Trucks/Trailers	(12)	(5)	P
Garden Supply/Plant Nursery	(13)		P
General Personal Service	(14)	(6)	S
General Retail Store	(15)		S
Hair Salon and/or Manicurist	(16)		S
Laundromat with Dropoff/Pickup Services	(17)		P
Self Service Laundromat	(18)		P
Private Museum or Art Gallery	(20)		P
Night Club, Discotheque, or Dance Hall	(21)		S
Pawn Shop	(22)		P
Permanent Cosmetics	(23)	(7)	A

LEGEND:

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PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Temporary Real Estate Sales Office	(25)		P
Rental Store without Outside Storage and/or Display	(26)	(8)	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(27)	(9)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(28)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(27)	(10)	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(28)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (<i>i.e. a Maximum of Four [4] Vehicles</i>)	(29)		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(29)		P
Secondhand Dealer	(30)		P
Art, Photography, or Music Studio	(31)		P
Taxidermist Shop	(34)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Bail Bond Service	(1)		P
Building and Landscape Material with Outside Storage	(2)	(1)	P
Building and Landscape Material with Limited Outside Storage	(2)	(2)	P
Building Maintenance, Service, and Sales with Outside Storage	(3)	(3)	P
Building Maintenance, Service, and Sales without Outside Storage	(3)		P
Commercial Cleaners	(4)		P
Custom and Craft Work	(5)		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Feed Store or Ranch Supply	(7)		S
Furniture Upholstery/Refinishing and Resale	(8)	(4)	P
Gunsmith Repair and Sales	(9)		P
Rental, Sales and Service of Heavy Machinery and Equipment	(10)	(5)	S
Locksmith	(11)		P
Machine Shop	(12)		P
Medical or Scientific Research Lab	(13)		P
Research and Technology or Light Assembly	(15)		P
Trade School	(17)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Major Auto Repair Garage	(1)	(1)	S
Minor Auto repair garage	(2)	(2)	S
Automobile Rental	(3)		S
New or Used Boat and Trailer Dealership	(4)	(3)	S
Full Service Car Wash and Auto Detail	(5)	(4)	P
Self Service Car Wash	(5)	(4)	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	(6)	(5)	S
New Motor Vehicle Dealership-for Cars and Light Trucks	(7)	(6)	S

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Used Motor Vehicle Dealership for Cars and Light Trucks}	(7)	(7)	A
Commercial Parking	(8)		P
Non-Commercial Parking Lot	(9)		P
Recreational Vehicle (RV) Sales and Service	(10)		S
Service Station	(11)	(8)	P
Towing and Impound Yard	(12)	(9)	S
Towing Service without Storage	(13)	(10)	P
Truck Rental	(14)		S
Truck Stop with Gasoline Sales and Accessory Services	(15)	(11)	S
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Asphalt or Concrete Batch Plant	(1)	(1)	S
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Bottle Works for Milk or Soft Drinks	(3)		P
Brewery or Distillery	(4)	(3)	P
Carpet and Rug Cleaning	(5)		P
Environmentally Hazardous Materials	(6)	(4)	S
Food Processing with No Animal Slaughtering	(7)		P
Light Assembly and Fabrication	(8)		P
Heavy Manufacturing	(9)		S
Light Manufacturing	(10)		P
Metal Plating or Electroplating	(11)		S
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S
Printing and Publishing	(13)		P
Salvage or Reclamation of Products Indoors	(14)		P
Salvage or Reclamation of Products Outdoors	(15)		S
Sheet Metal Shop	(16)		P
Tool, Dye, Gauge and/or Machine Shop	(17)		P
Welding Repair	(18)		P
Winery	(19)	(6)	P
WHOLESALE, DISTRIBUTION AND STORAGE LAND USES	2.02(J)	2.03(J)	
Cold Storage Plant	(1)		P
Heavy Construction/Trade Yard	(2)		P
Mini-Warehouse	(4)	(1)	P
Outside Storage and/or Outside Display	(5)	(2)	P
Recycling Collection Center	(6)		P
Warehouse/Distribution Center	(7)		P
Wholesale Showroom Facility	(8)		P
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Airport, Heliport or Landing Field	(1)		S
Antenna, as an Accessory	(2)	(1)	P

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Commercial Antenna	(3)	(2)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Commercial Freestanding Antenna	(6)	(5)	P
Mounted Commercial Antenna	(7)	(6)	P
Bus Charter Service and Service Facility	(8)		P
Helipad	(9)		S
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		P
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
Trucking Company	(19)		P
TV Broadcasting and Other Communication Service	(20)		P
Utilities Holding a Franchise from the City of Rockwall	(21)		P
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A LIGHT INDUSTRIAL (LI) DISTRICT FOR A 14.78-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 8 & 8-1 OF THE J. H. BAILEY SURVEY, ABSTRACT NO. 34, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Hellen Byrd on behalf of Donald Valk for the approval of a *Zoning Change* from an Agricultural (AG) District to a Light Industrial (LI) District for a 14.78-acre tract of land identified as Tracts 8 & 8-1 of the J. H. Bailey Survey, Abstract No. 34, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 4649 SH-276, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Light Industrial (LI) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Light Industrial (LI) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 05.01, *General Industrial District Standards*; Section 05.02, *Light Industrial (LI) District*; Section 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JUNE, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 16, 2022

2nd Reading: June 6, 2022

Exhibit 'A'
Legal Description

BEING ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE J.H. BAILEY SURVEY, ABSTRACT NOS. 34 & 44, ROCKWALL COUNTY, TEXAS AND BEING A PART OF A 15.00-ACRE TRACT OF LAND AS DESCRIBED IN DEED TO GEORGE R. HEARD AND MITZI HEARD, AS RECORDED IN *VOLUME 1202, PAGE 50* OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS;

BEGINNING AT A 5/8" IRON ROD WITH RED CAP FOUND IN THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276, SAID POINT BEING IN THE WEST LINE OF SAID 15.00-ACRE GEORGE R. HEARD TRACT AND THE EAST LINE OF A 15.00-ACRE TRACT OF LAND AS DESCRIBED IN DEED TO COMMERCIAL CONSTRUCTION SPECIALTIES, LP, A TEXAS LIMITED PARTNERSHIP, AND RECORDED IN *INSTRUMENT NUMBER 20190000023410* OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS, SAID POINT BEING SOUTH AT A DISTANCE OF 18.28-FEET FROM THE NORTHEAST CORNER OF SAID 15.00-ACRE COMMERCIAL CONSTRUCTION SPECIALTIES, LP TRACT;

THENCE SOUTH 72° 55' 54" EAST AND FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276 FOR A DISTANCE OF 86.96-FEET TO A 5/8" IRON ROD SET FOR CORNER;

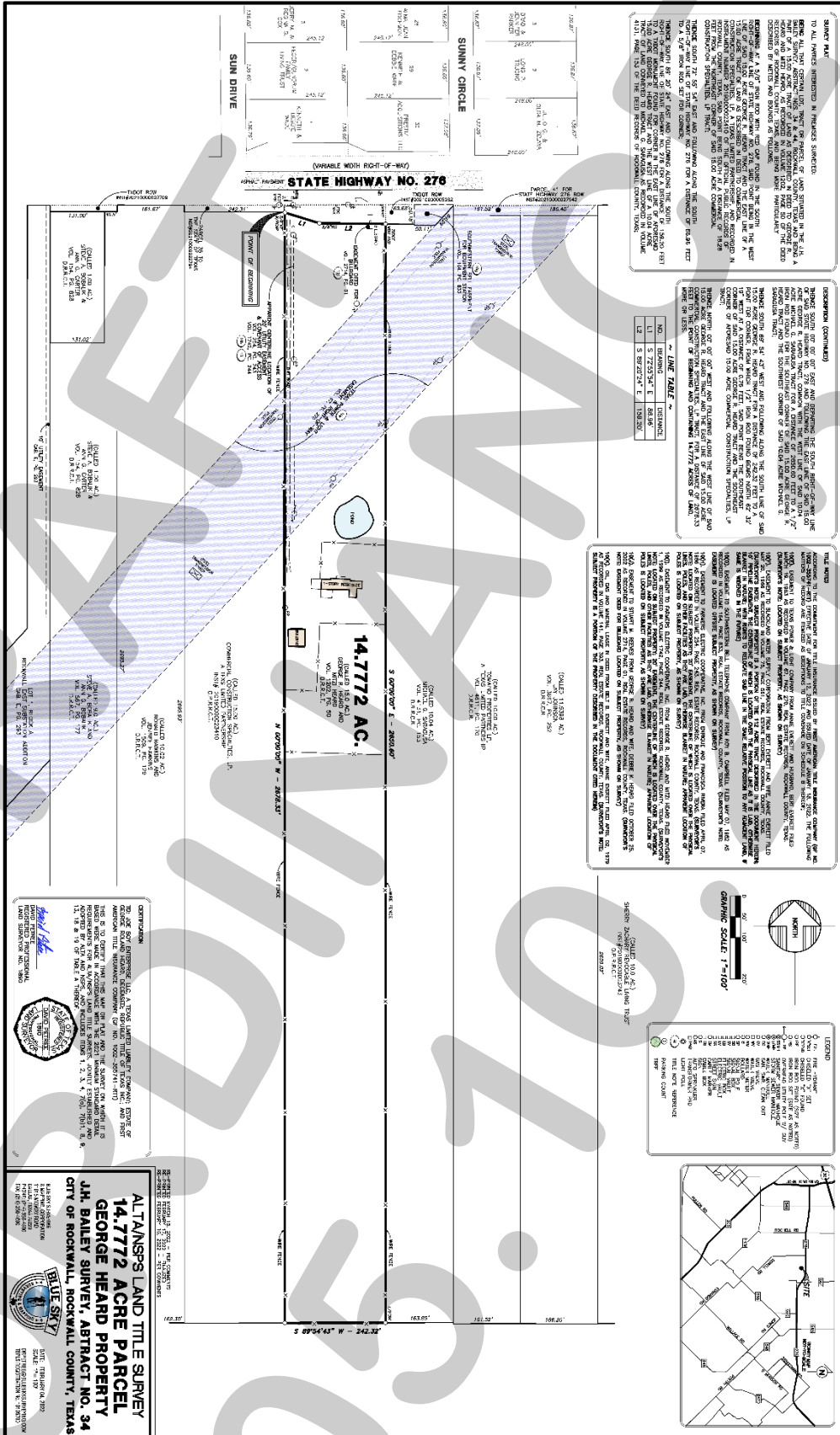
THENCE SOUTH 89° 20' 24" EAST AND FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276 FOR A DISTANCE OF 159.20-FEET TO A TXDOT MONUMENT FOUND FOR CORNER IN THE EAST LINE OF AFORESAID 15.00-ACRE GEORGE R. HEARD TRACT AND THE WEST LINE OF A 10.04-ACRE TRACT OF LAND CONVEYED TO MICHAEL G. SARAGUSA AS RECORDED IN *VOLUME 4131, PAGE 153* OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 00° 00' 00" EAST AND DEPARTING THE SOUTH RIGHT-OF-WAY LINE OF SAID STATE HIGHWAY NO. 276 AND FOLLOWING THE EAST LINE OF SAID 15.00-ACRE GEORGE R. HEARD TRACT, COMMON WITH THE WEST LINE OF SAID 10.04-ACRE MICHAEL G. SARAGUSA TRACT FOR A DISTANCE OF 2650.60-FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID 15.00-ACRE GEORGE R. HEARD TRACT AND THE SOUTHWEST CORNER OF SAID 10.04-ACRE MICHAEL G. SARAGUSA TRACT;

THENCE SOUTH 89° 54' 43" WEST AND FOLLOWING ALONG THE SOUTH LINE OF SAID 15.00-ACRE GEORGE R. HEARD TRACT FOR A DISTANCE OF 242.32-FEET TO A POINT FOR CORNER, FROM WHICH 1/2" IRON ROD FOUND BEARS NORTH 62° 32' 19" WEST AT A DISTANCE OF 0.76-FEET, SAID POINT BEING THE SOUTHEAST CORNER OF SAID 15.00-ACRE GEORGE R. HEARD TRACT AND THE SOUTHEAST CORNER OF AFORESAID 15.00-ACRE COMMERCIAL CONSTRUCTION SPECIALTIES, LP TRACT;

THENCE NORTH 00° 00' 00" WEST AND FOLLOWING ALONG THE WEST LINE OF SAID 15.00-ACRE GEORGE R. HEARD TRACT AND THE EAST LINE OF SAID 15.00-ACRE COMMERCIAL CONSTRUCTION SPECIALTIES, LP TRACT, FOR A DISTANCE OF 2678.33-FEET TO THE *POINT OF BEGINNING* AND CONTAINING 14.7772-ACRES OF LAND, MORE OR LESS.

Exhibit 'B' Survey





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 10, 2022
APPLICANT: Ruben Chapa
CASE NUMBER: Z2022-021; *Specific Use Permit (SUP) for a Residential Infill for 5405 Ranger Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Ruben Chapa for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1214-acre parcel of land identified as Lot 22, Block B, Chandler's Landing, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 5405 Ranger Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 29, 1973 by *Ordinance No. 73-42 (Case No. 1973-004)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 19 was later amended by *Ordinance No. 85-43* on August 26, 1985. A preliminary plat (*Case No. PZ1985-045-01*) and a final plat (*Case No. PZ1985-056-01*) for Phase 19 of the Chandler's Landing Subdivision were approved on July 2, 1985. This established the subject property as Lot 4, Block B, Chandler's Landing, Phase 19. The subject property remains zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 5405 Ranger Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the Chandler's Landing Phase 18, which was established on October 1, 1984 and consists of 17 residential lots. Beyond this is Chandler's Landing Phase 17, which was platted on January 15, 1985 and consists of 57 residential lots. Both subdivisions are zoned Planned Development District 8 (PD-8) for single-family land uses.

South: Directly south of the subject property is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Chandlers Landing Yacht Club zoned Planned Development District 8 (PD-8).

East: Directly east of the subject property is Chandlers Landing Phase 2, which was established on July 9, 1973 and consists of 57 residential lots. This phase of the Chandler's Landing Subdivision is zoned Planned Development District 8 (PD-8) for single-family land uses. Beyond this is Columbia Drive, which is identified as *R2 (i.e. residential, two (2) lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Yacht Club Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Chandlers Landing Phase 18, Section 2, which was established on January 23, 1985 and consists of 42 residential lots. This phase of the Chandler’s Landing Subdivision is zoned Planned Development District 8 (PD-8) for single-family land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Phase 4 of the Chandler’s Landing Subdivision, which has been in existence since 1985 consists of 24 residential lots, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on France Court and Yacht Club Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Ranger Drive, Courageous Drive, and Yacht Club Drive	Proposed Housing
Building Height	One (1) & Two (2) Story.	Two (2) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Ranger Drive
Year Built	1988-2000	N/A
Building SF on Property	1,351 SF – 4,185 SF	3,594 SF
Building Architecture	Townhomes & Traditional Brick Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (6) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	20-Feet
Building Materials	Brick and HardiBoard/HardiePlank.	Combination of Brick, HardiBoard Siding, and Stone
Paint and Color	White, Cream, Red, Blue, and Brown	White
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front with the orientations being <i>flat front entry</i> , <i>side entry</i> , and <i>J or traditional swing entry</i> .	The garage will be situated five (5) feet 5 ½ inches behind the front of the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicants proposed garage is oriented five (5) feet, 5½-inches behind the front façade of the home. Staff should point out that since the construction range for housing in this area extends from 1988-2000, the houses already have several garage configurations that would be deemed to be legally non-conforming (*i.e. they were conforming when they were constructed; however, due to changes in the code they are no longer conforming and would not be permitted*

to be built in this configuration today). A waiver to the garage orientation is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the City Council, upon recommendation by the Planning and Zoning Commission, will be waiving the garage orientation requirement. With this being said, staff should point out -- *that with the exception of the garage orientation* -- the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 8 [Ordinance No. 85-43] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Ranger Drive, Courageous Drive, and Yacht Club Drive and the proposed building elevations in the attached packet.

NOTIFICATIONS

On April 25, 2022, staff mailed 134 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Signal Ridge, Signal Ridge Phase 4, the Cabana's at Chandler's Landing, Match Point Townhomes, Cutter Hill Phases 1, 2, and 3, and Chandler's Landing Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 2022-021

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 5405 Ranger Dr Rockwall TX 75032

SUBDIVISION Chantlers Landing LOT BLOCK

GENERAL LOCATION @ 5421 Ranger Dr Rockwall TX 75032

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING CURRENT USE

PROPOSED ZONING PROPOSED USE

ACREAGE LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Ruben Chapa APPLICANT

CONTACT PERSON CONTACT PERSON

ADDRESS ~~5405~~ Rosemary Dr ADDRESS

342

CITY, STATE & ZIP Wylie TX 75098 CITY, STATE & ZIP

PHONE 409 494 2316 PHONE

E-MAIL Ruben.noe.chapa3@gmail.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

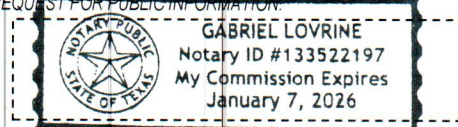
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ruben Chapa [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF April, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF April, 2022.

OWNER'S SIGNATURE Ruben Chapa

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS John J. [Signature]



MY COMMISSION EXPIRES Jan 7, 2026



Z2022-021: SUP for Residential Infill at 5405 Ranger Drive

PD-8

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

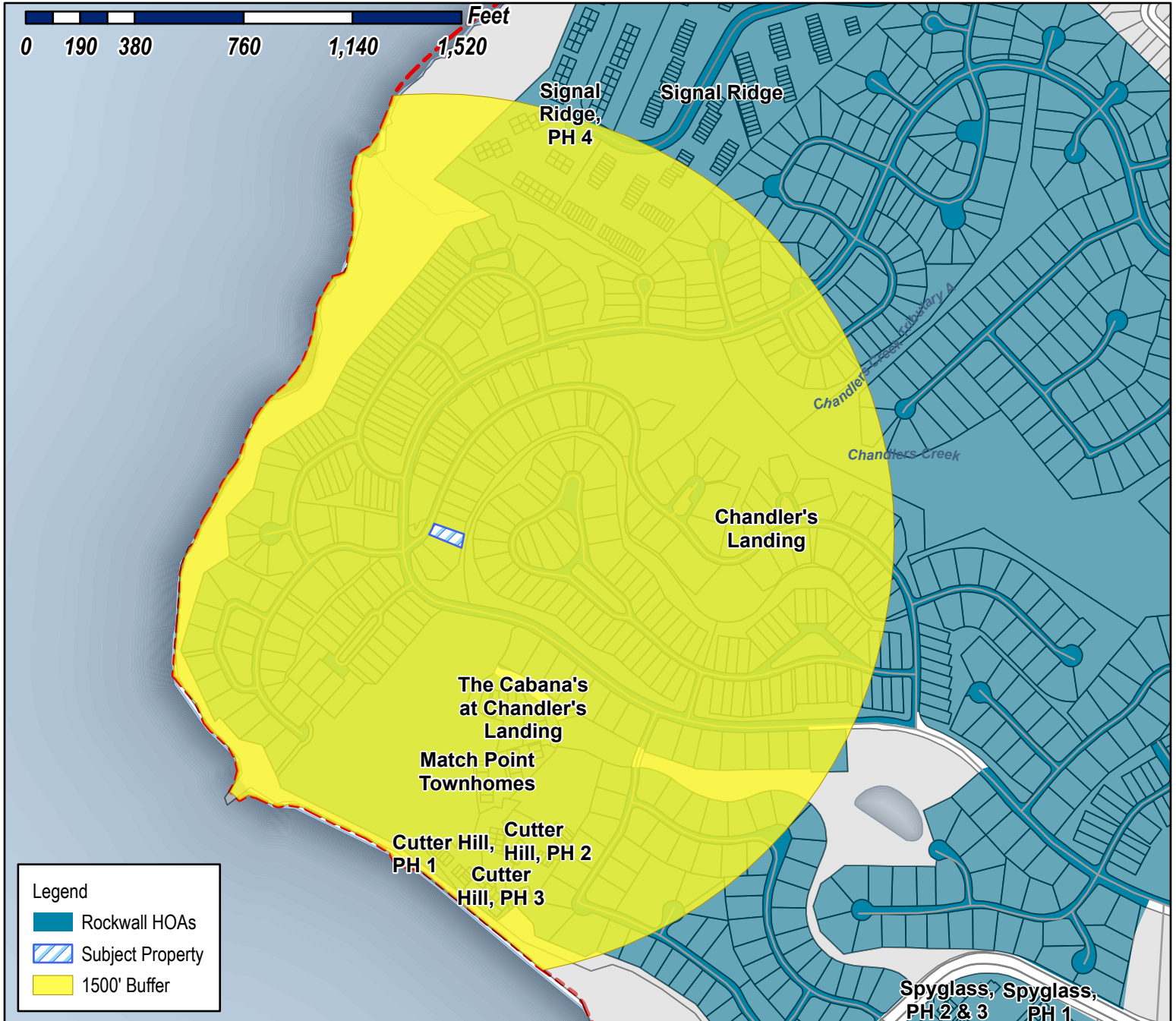




City of Rockwall

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Rockwall, Texas 75087
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Case Number: Z2022-021
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 5405 Ranger Drive

Date Saved: 4/18/2022
 For Questions on this Case Call (972) 771-7745

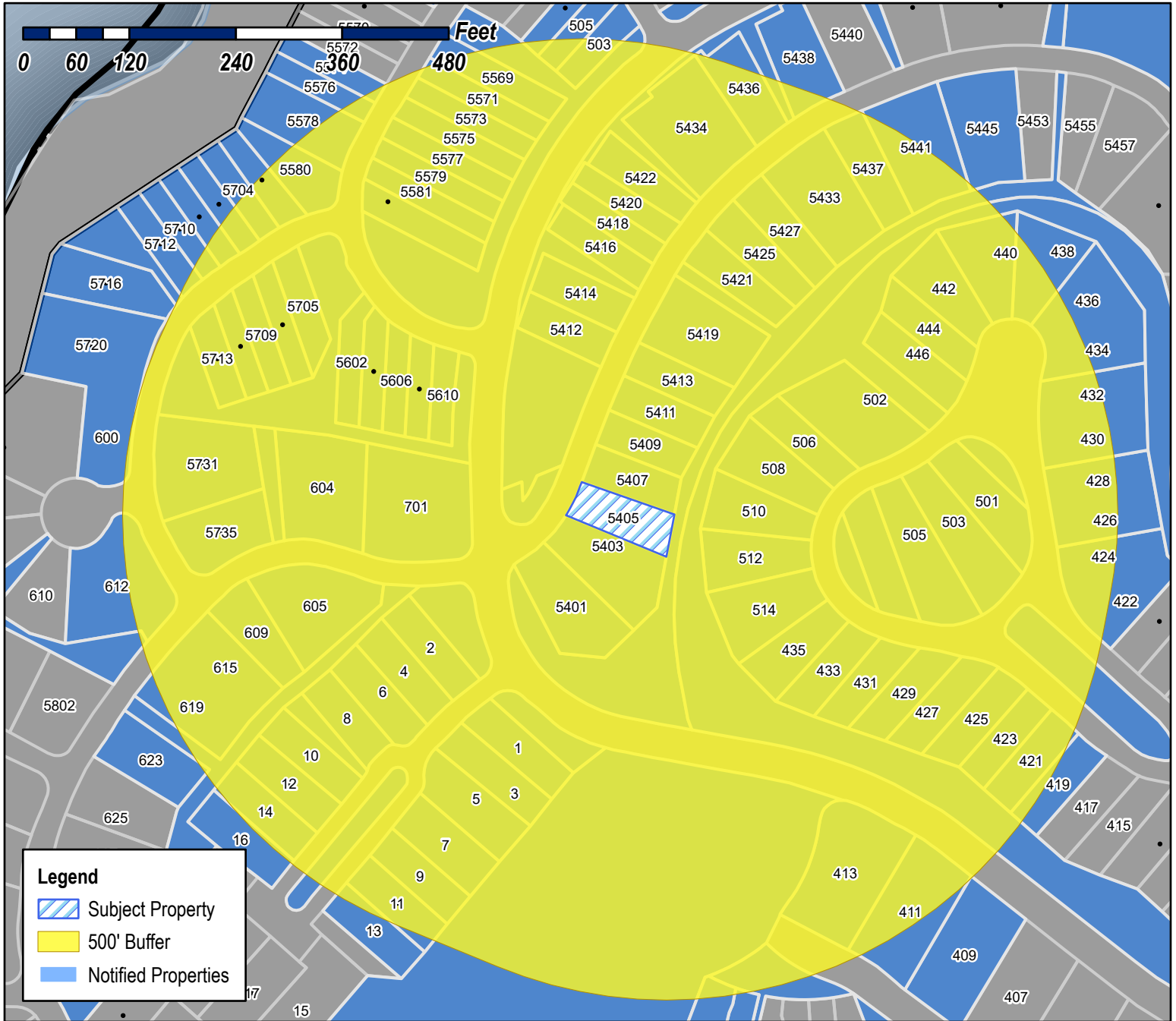




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Date Saved: 4/18/2022
 For Questions on this Case Call (972) 771-7745



LOVEJOY ROMA DIANE HUMPHREYS
1 INTREPID CIRCLE
ROCKWALL, TX 75032

PATON BRUCE R &
DR DARIAH L MORGAN
10 INTREPID CIR
ROCKWALL, TX 75032

JACCK RESIDENTIAL HOLDINGS LLC
1000 PULLEN ROAD
MCLENDON CHISHOLM, TX 75087

LEAHOVCENCO ALEXANDER
107 INDEPENDENCE PLACE
ROCKWALL, TX 75032

ELCHANAN DANIEL & NANCY B
11 INTREPID CIR
ROCKWALL, TX 75032

MILLER DIXIE
111 SCEPTRE DR
ROCKWALL, TX 75032

SINISCALCHI JOSEPH W & KIMBERLY A
116 OLD VINEYARD LN
ROCKWALL, TX 75032

MAYS JOHN
12INTREPIDCIR ROCKWALL
TX, 75032

LUCKEY CAROL MALATICH
13 INTREPID CIRCLE
ROCKWALL, TX 75032

VISWANATH RABINDRANATH AND SHANNON
14 INTREPID CIRCLE
ROCKWALL, TX 75032

LEEDS JULIE
1423 ROLLINS DR
ALLEN, TX 75013

DEVILL HOMES INC
16 INTREPID CIR ROCKWALL
TX, 75032

DEVINE LORI AND GRAEME
18491 MCCLELLAN CIRCLE
EAST GARRISON, CA 75032

5 TO 1 LIVING TRUST
2 INTREPID CIRCLE
ROCKWALL, TX 75032

RUBENSTEIN ALAN AND
GINA STRICKLIN
2880 LAGO VISTA LN
ROCKWALL, TX 75032

SPARKS PHILIP R
3 INTREPID CIR
ROCKWALL, TX 75032

PRESERVE CUSTOM HOMES LLC
3021 RIDGE RD #205
ROCKWALL, TX 75032

LAM PROPERTY
3051 N GOLIAD ST
ROCKWALL, TX 75087

KUIPERS KATHY & ROY
333 YACHT CLUB DR
ROCKWALL, TX 75032

FLEMING JOYCE MARIE
4 INTREPID CIR
ROCKWALL, TX 75032

BAKER JARROD J & HEATHER M
409 YACHT CLUB DR
ROCKWALL, TX 75032

WATSON JARRETT A
411 YACHT CLUB DR
ROCKWALL, TX 75032

MACGILVARY ERIN
413 YACHT CLUB DRIVE
ROCKWALL, TX 75032

JORDAN PAMELLA W
419 COLUMBIA DR
ROCKWALL, TX 75032

THOMPSON FRED AND LINDA
421 COLUMBIA DRIVE
ROCKWALL, TX 75032

#23 INVESTMENTS LLC
422 COLUMBIA DR ROCKWALL
TX, 75032

BRIGHT CHRISTOPHER J JOHN
423 COLUMBIA DR
ROCKWALL, TX 75032

HANKINS MICHAEL L & VICKI S
425 COLUMBIA DR
ROCKWALL, TX 75032

DUDEK PROPERTIES LLC
426-428COLUMBIADR ROCKWALL
TX, 75032

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

ROLAND JAMES & DEBRA JAN
429 COLUMBIA DR
ROCKWALL, TX 75032

KELLY DONNA
431 COLUMBIA DR
ROCKWALL, TX 75160

DUDEK PROPERTIES LLC
432 COLUMBIA DR
ROCKWALL, TX 75032

DUDEK JOHN F AND JENNIFER H
432 COLUMBIA DR
ROCKWALL, TX 75032

GESSNER JOHN B
433 COLUMBIA DR
ROCKWALL, TX 75032

LAMBERTH ROBERT B & JENNIFER J
435 COLUMBIA DR
ROCKWALL, TX 75032

MORRISON DEBRA
436 COLUMBIA DR
ROCKWALL, TX 75032

BENSON CURT R
438 COLUMBIA DRIVE
ROCKWALL, TX 75032

KRISHNAN ASHOK AND
SRIVASTAVA VARUNA
440 COLUMBIA DRIVE
ROCKWALL, TX 75032

STOUFFER JAMES MITCHELL AND AMY ALLEN
442 COLUMBIA DR
ROCKWALL, TX 75032

PAYNE JOHN R
444 COLUMBIA DR
ROCKWALL, TX 75032

ARMSTRONG D
446 COLUMBIA DR ROCKWALL
TX, 75032

AURINGER JENNIFER & JONATHAN
5 INTREPID CIR
ROCKWALL, TX 75032

UDSTUEN ERIKA ANN
501 COLUMBIA DRIVE
ROCKWALL, TX 75032

CHANDLERS LANDING COMMUNITY ASSOC
501 YACHT CLUB DR ROCKWALL
TX, 75032

VILLARREAL ANDRES II
502 COLUMBIA DRIVE
ROCKWALL, TX 75032

NORTHCUTT BENJAMIN CHARLES AND LEIGH
ANN
503 COLUMBIA DRIVE
ROCKWALL, TX 75032

LEAHOVCENCO ALEXANDR
503 MARINER DR ROCKWALL
TX, 75032

TURSCHAK JAIME
505 COLUMBIA DRIVE
ROCKWALL, TX 75032

LEAHOVCENCO ALEXANDER
505 MARINER DR ROCKWALL
TX, 75032

IRWIN PATRICIA ANN
506 COLUMBIA DRIVE
ROCKWALL, TX 75032

LEAHOVCENCO ALEXANDER
507 MARINER DR ROCKWALL
TX, 75032

BLAKELY DENNIS DALE AND SARA ALLEN
508 COLUMBIA DRIVE
ROCKWALL, TX 75032

SUTTON KRISTINA
510 COLUMBIA DR
ROCKWALL, TX 75032

DEBENDER RACHEL M AND
MADELINE A GEARY
512 COLUMBIA DR
ROCKWALL, TX 75032

VAN AMBURGH GORDON D JR & JEANNE M
514COLUMBIADR ROCKWALL
TX, 75032

LAYENDECKER TIMOTHY P & SHAHLA
519 INTERSTATE 30 #629
ROCKWALL, TX 75087

HOLMGREN DENNIS M AND JO ANN
5303 YACHT CLUB DRIVE
ROCKWALL, TX 75032

VAN AMBURGH GORDON D JR & JEANNE M
540 LOMA VIST
HEATH, TX 75032

DUNCAN HAL & EILEEN
5401 RANGER DR
ROCKWALL, TX 75032

JANAK JUDY A AND MICHAEL K BOX
5403 RANGER DR
ROCKWALL, TX 75032

DEVINE LORI AND GRAEME
5405 RANGER DR ROCKWALL
TX, 75032

MAYFIELD STEPHEN ANDREW
5407 RANGER DRIVE
ROCKWALL, TX 75032

RICH JEFFREY
5409 RANGER DR ROCKWALL
TX, 75032

RICH JEFFREY M
5411 RANGER DRIVE
ROCKWALL, TX 75032

THOMAS VICKI
5412 RANGER DR ROCKWALL
TX, 75032

BLAKELY SARA
5413RANGERDR ROCKWALL
TX, 75032

PIXLEY ENTERPRISES AND
ANDREA PIXLEY
5414 RANGER DR ROCKWALL
TX, 75032

COOK GREGORY
5416 RANGER DRIVE
ROCKWALL, TX

KUIPERS KATHY & ROY
5418 RANGER DR ROCKWALL
TX, 75032

KOMP STEPHEN J
5419 RANGER DRIVE
ROCKWALL, TX 75032

OTTEN STEVEN E
5420 RANDE DR
ROCKWALL, TX 75032

PRESERVE CUSTOM HOMES LLC
5421 RANGER DR ROCKWALL
TX, 75032

LEEDS JULIE
5422 RANGER DR ROCKWALL
TX, 75032

LUND MICHAEL J AKA
MICHAEL LUND AND CHIZUKO T LUND AKA
CHIZUKO LUND
5425 RANGER DRIVE
ROCKWALL, TX 75032

THOMAS VICKIE SUE
5427 RANGER DR
ROCKWALL, TX 75032

CONFIDENTIAL
5433 RANGER DR ROCKWALL
TX, 75032

RAINEY JOEL A & PAULA N
5434 RANGER DR
ROCKWALL, TX 75032

DOVE JAMES & BARBARA
5436 RANGER DR
ROCKWALL, TX 75032

LIKE JOHN MILES
5437 RANGER DR
ROCKWALL, TX 75032

RUBENSTEIN ALAN AND
GINA STRICKLIN
5438 RANGER DR ROCKWALL
TX, 75032

HILL SAMUEL J
5441 RANGER DR
ROCKWALL, TX 75032

HOLMGREN DENNIS M AND JO ANN
5445 RANGER DR ROCKWALL
TX, 75032

MAYS JOHN
5450 MERRIMAC AVENUE
DALLAS, TX 75032

PIXLEY SUZANNE AND ANDREA J
5560 CANADA COURT
ROCKWALL, TX 75032

PUSCH CHRISTA
5569 CANADA CT
ROCKWALL, TX 75032

MILLER DIXIE
5571 CANADA CT ROCKWALL
TX, 75032

PIXLEY ANDREA
5573 CANADA CT ROCKWALL
TX, 75032

SINISCALCHI JOSEPH W & KIMBERLY A
5574CANADACT ROCKWALL
TX, 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

HETTINGER HAYS V & MARGARET A
5576 CANADA CT
ROCKWALL, TX 75032

ARNAIZ REVOCABLE TRUST OF AUGUST 3, 2017
ANTHONY GENE ARNAIZ AND LANA MICHELLE
ARNAIZ- TRUSTEES
5577CANADACT ROCKWALL
TX, 75032

PALMER TODD P AND NEELIE HUFF
5579 CANADA CT
ROCKWALL, TX 75032

HAWN LESLEE AND WILLIAM RUSSELL
5580 CANADA CT
ROCKWALL, TX 75032

AUBREY Q & YVONNE M PATTERSON
REVOCABLE LIVING TRUST
AUBREY Q & YVONNE M PATTERSON TRUSTEES
5581 CANADA COURT
ROCKWALL, TX 75032

MARTIN GREGORY LAWRENCE AND CHRISTIN
BRADLEY
5583 CANADA CT
ROCKWALL, TX 75032

SPEED STEVEN C AND KAYLA MARIE
SPEED STEVEN C AND KAYLA MARIE
558YACHT CLUBDR ROCKWALL
TX, 75032

BLUM JENNIFER REBECCA
560 YACHT CLUB DRIVE
ROCKWALL, TX 75032

JACKSON DESHANNON
5602 CANADA COURT
ROCKWALL, TX 75032

FARIS CHARLES M AND DAWN M
5604 CANADA CT
ROCKWALL, TX 75032

JACCK RESIDENTIAL HOLDINGS LLC
5606CANADACT ROCKWALL
TX, 75032

BUTTLES HOLLI M LOVELESS
5608 CANADA CT
ROCKWALL, TX 75032

ROBISON AARON AND AMY M
5610 CANADA CT
ROCKWALL, TX 75032

OWEN DONALD H
5702 SOUTHERN CROSS
ROCKWALL, TX 75032

NOLAN STEPHEN
5704 SOUTHERN CROSS DR
ROCKWALL, TX 75032

SORENSEN DEBORAH R & ROBERT S
5705 SOUTHERN CROSS DR
ROCKWALL, TX 75032

FURBAY CHARLES EUGENE & ANN ELIZABETH
5706 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

KING SHILA
5707 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

LAM PROPERTY
5708SOUTHERN CROSSDR ROCKWALL
TX, 75032

PIXLEY SUZANNE AND ANDREA J
5709SOUTHERN CROSSDR ROCKWALL
TX, 75032

DEFRANCO JOHN
5710 SOUTHERN CROSS
ROCKWALL, TX 75032

POESCHEL MARK & AURORA
5711 SOUTHERN CROSS DR
ROCKWALL, TX 75032

LEMASTER MARK & JILL
5712 SOUTHERN CROSS DR
ROCKWALL, TX 75032

RUSHING ROGER D & DEBORAH C
5713 SOUTHERN CROSS DR
ROCKWALL, TX 75032

JENNISON FAMILY HOMESTEAD TRUST
JEROME R JENNISON AND NANCY E JENNISON-
TRUSTEES
5716 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

CHESNA THOMAS E &
VICTORIA D CHESNA LIVING TR
5720 SOUTHERN CROSS DR
ROCKWALL, TX 75032

BRANCO ANTHONY J
5731 SOUTHERN CROSS DR
ROCKWALL, TX 75032

WITT CAROLINE L
5735 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

BROWN DORLISKA WADSWORTH IV
6 INTREPID CIRCLE
ROCKWALL, TX 75032

RICHARDSON CHESTER AND SHELLEY
604 COURAGEOUS DR
ROCKWALL, TX 75032

LAYENDECKER TIMOTHY P & SHAHLA
605 COURAGEOUS DR ROCKWALL
TX, 75032

MARSHALL LISA AND WILLIAM C
609 COURAGEOUS DR
ROCKWALL, TX 75032

JOHNSON EARL & ERA WILLIAMS
612 SEVERIGE COURT
ROCKWALL, TX 75032

PATON FAMILY CHARITABLE TR
615-619COURAGEOUSDR ROCKWALL
TX, 75032

ATASHIRANG GHASSEM
623 COURAGEOUS DR
ROCKWALL, TX 75032

DEFORD ERA JANE
7 INTREPID CIRCLE
ROCKWALL, TX 75032

JONES W GRIFFIN & BARBARA STEWART JONES
701 YACHT CLUB DR
ROCKWALL, TX 75032

BOWSHER KATHERINE M
8 INTREPID CIRCLE
ROCKWALL, TX 75032

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

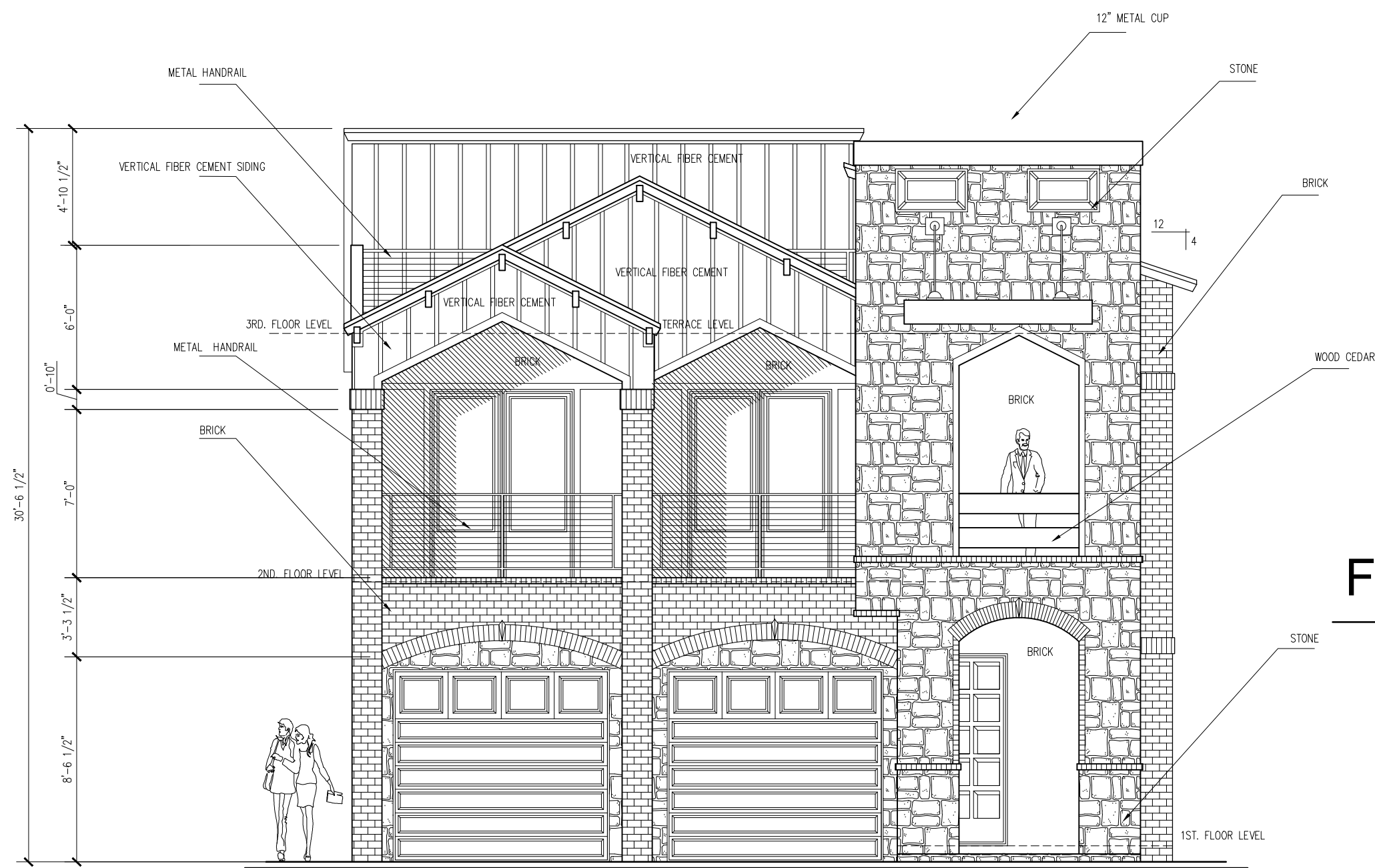
SEIBERT PETE
9 INTREPID CIR
ROCKWALL, TX 75032

#23 INVESTMENTS LLC
PO BOX 2292
ROCKWALL, TX 75087

ARNAIZ REVOCABLE TRUST OF AUGUST 3, 2017
ANTHONY GENE ARNAIZ AND LANA MICHELLE
ARNAIZ- TRUSTEES
PO BOX 2309
SANTA CRUZ, CA 95063

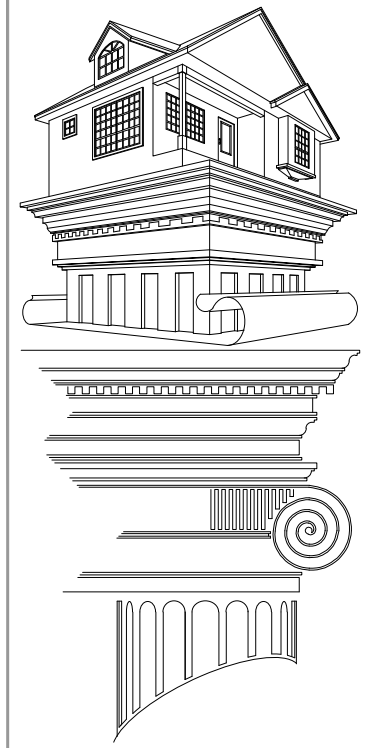
CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

DEVILL HOMES INC
PO BOX 764166
DALLAS, TX 75376



FRONT ELEVATION

SCALE : 3/16" = 1'-0"



Martinez Design, LLC

Tel : 972-891-4160
Tel : 972-871-2512

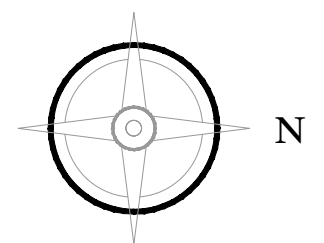
martinez73@hotmail.com

GENERAL NOTES

1. THE GENERAL CONTRACTOR/BUILDER SHALL EXAMINE AND VERIFY THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THESE PLANS/DOCUMENTS AND SHALL NOTIFY OWNER OF ANY DISCREPANCIES AND/OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
2. THESE PLANS ARE INTENDED FOR THE GENERAL RESIDENTIAL CONSTRUCTION PURPOSES ONLY AND ARE NOT EXHAUSTIVELY DETAILED OR FULLY SPECIFIED.
3. THE GENERAL CONTRACTOR SHALL SUPERVISE CONSTRUCTION AND IT SHALL BE RESPONSIBILITY TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL EQUIPMENT AND MATERIALS AND TO CONTROL THE QUALITY THEREOF.
4. ALL WORK PERFORMED ON THIS PROJECT SHALL MEET OR EXCEED THE CURRENT EDITION OF THE UNIFORM BUILDING CODE AND ALL APPLICABLE STATE AND LOCAL ORDINANCES, CODE, AND REGULATIONS.
5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ANY ENGINEERING NECESSARY TO THE STABILITY OF THE STRUCTURE(S) OF THE PROJECT. FURTHERMORE IT RECOMMENDS THAT THESE PLANS SHALL BE REVIEWED BY A QUALIFIED PROFESSIONAL ENGINEER AND TOPOGRAPHIC SPECIALIST

SQUARE FOOTAGE

	AREA	SQ. FT.
1ST. FLOOR	738.0	SQ. FT.
2ND. FLOOR	1,547.0	SQ. FT.
GARAGE AREA	682.0	SQ. FT.
PORCH	50.0	SQ. FT.
BALCONY	50.0	SQ. FT.
COVERED PATIO	174.0	SQ. FT.
TERRACE	353.0	SQ. FT.



Project Name:

NEW HOUSE

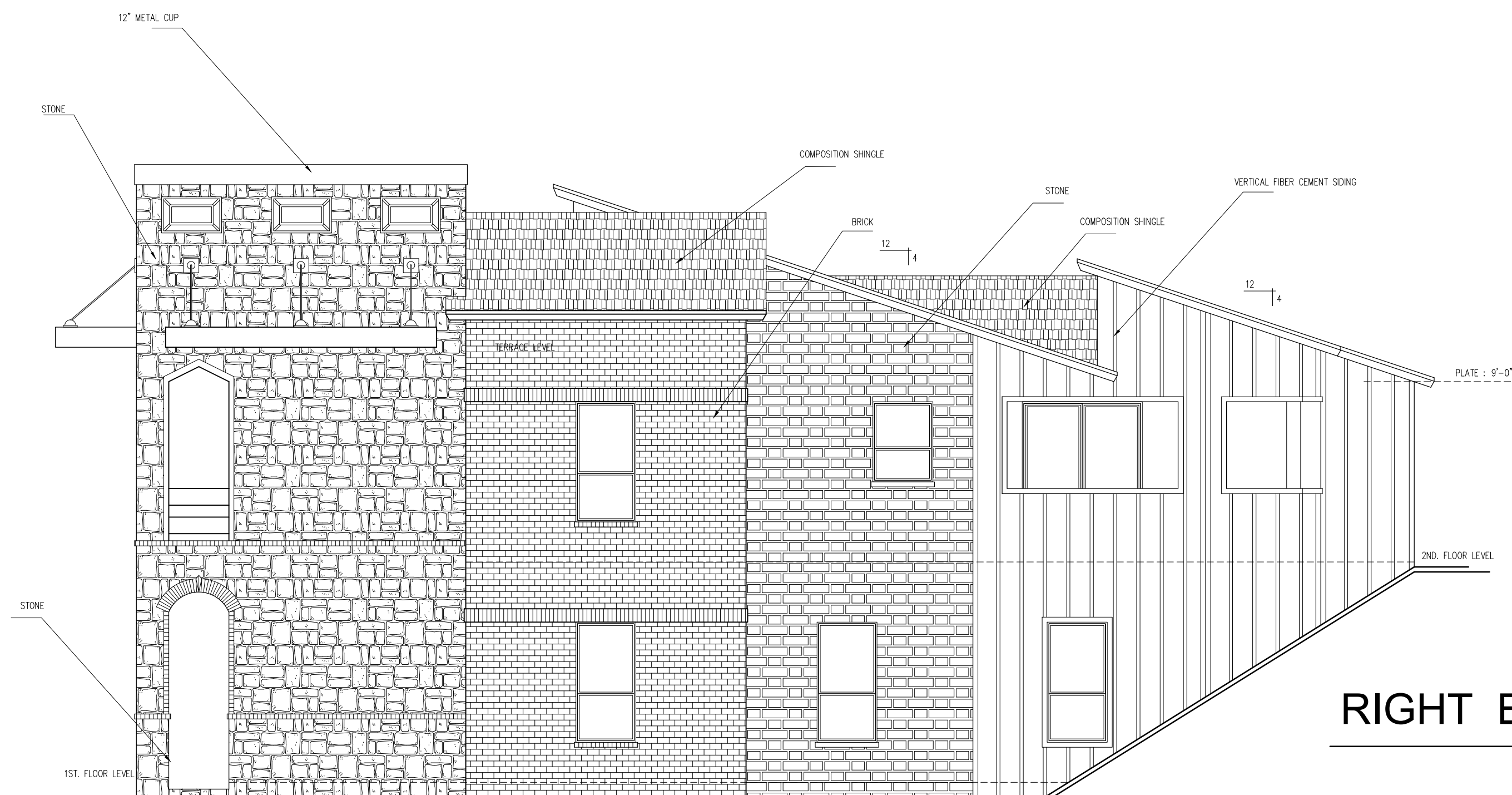
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5405 RANGER DRIVE

Plan Name:

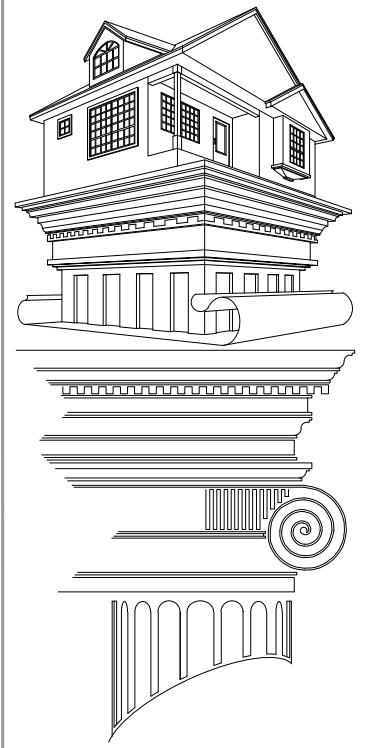
ELEVATIONS

Project #:	012022	Drawn By:	JAM
Date:	01-20-2022	Scale:	3/16" = 1'-0"
Sheet #:	6	Of:	7



RIGHT ELEVATION

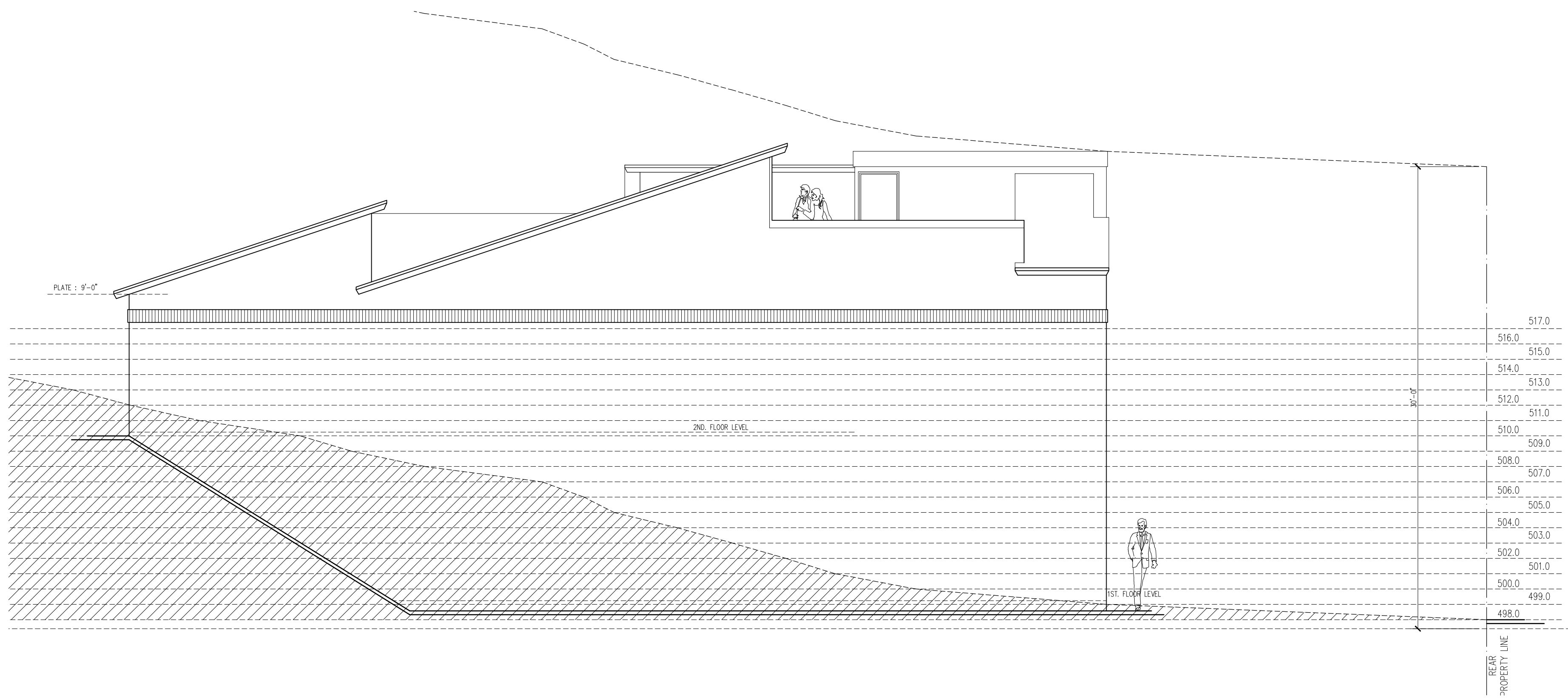
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Martinez Design, LLC

Tel : 972-891-4160
Tel : 972-871-2512

martinez73@hotmail.com

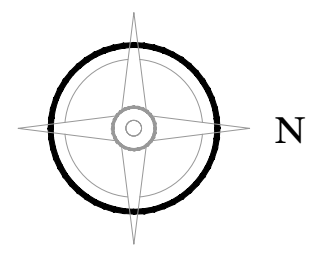


GENERAL NOTES

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SQUARE FOOTAGE

1ST. FLOOR AREA	738.0 SQ. FT.
2ND. FLOOR AREA	1,547.0 SQ. FT.
GARAGE AREA	682.0 SQ. FT.
PORCH	50.0 SQ. FT.
BALCONY	50.0 SQ. FT.
COVERED PATIO	174.0 SQ. FT.
TERRACE	353.0 SQ. FT.



Project Name:

NEW HOUSE

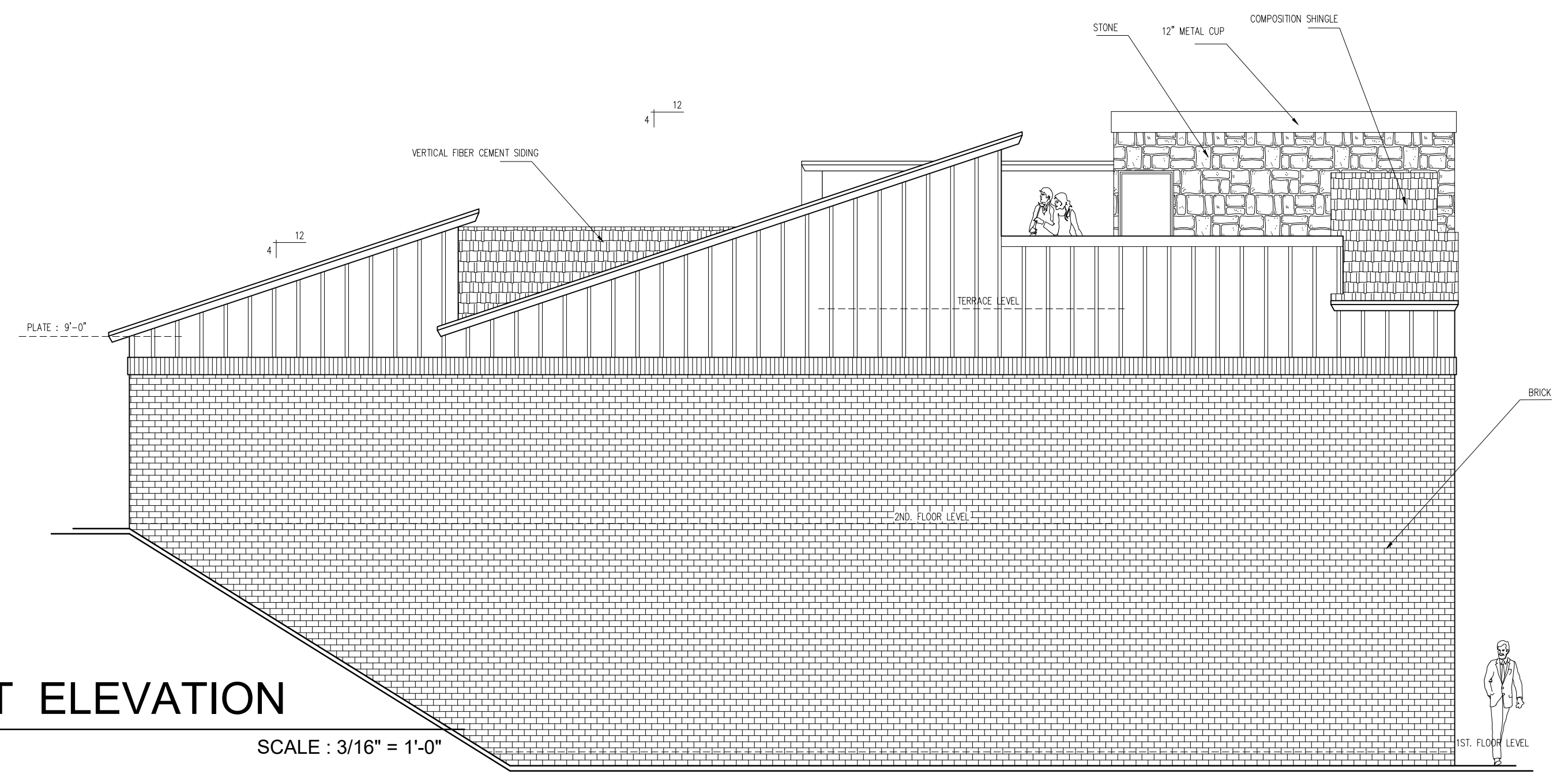
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Plan Name:

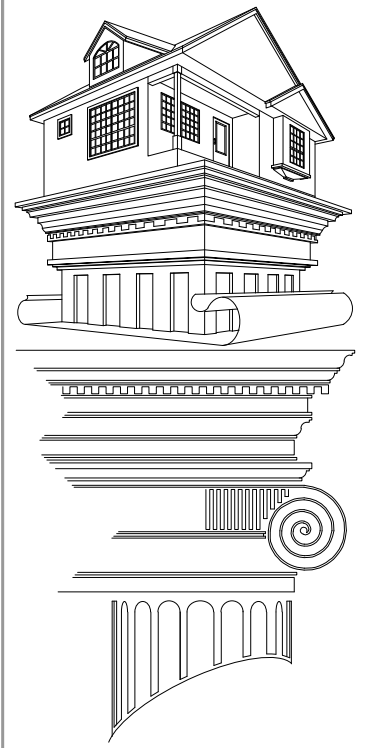
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Date:	01-20-2022	Scale:	3/16" = 1'-0"
Sheet #:	7	Of:	7



LEFT ELEVATION

SCALE : 3/16" = 1'-0"



Martinez Design, LLC

Tel : 972-891-4160
Tel : 972-871-2512

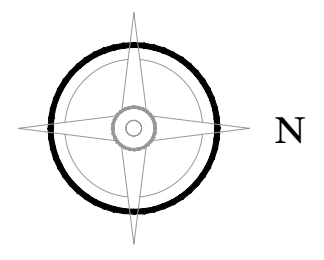
martinez73@hotmail.com

GENERAL NOTES

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SQUARE FOOTAGE

	AREA	SQ. FT.
1ST. FLOOR	AREA	738.0 SQ. FT.
2ND. FLOOR	AREA	1,547.0 SQ. FT.
GARAGE	AREA	682.0 SQ. FT.
PORCH		50.0 SQ. FT.
BALCONY		50.0 SQ. FT.
COVERED PATIO		174.0 SQ. FT.
TERRACE		353.0 SQ. FT.



Project Name:

NEW HOUSE

Project Address:

5405 RANGER DRIVE

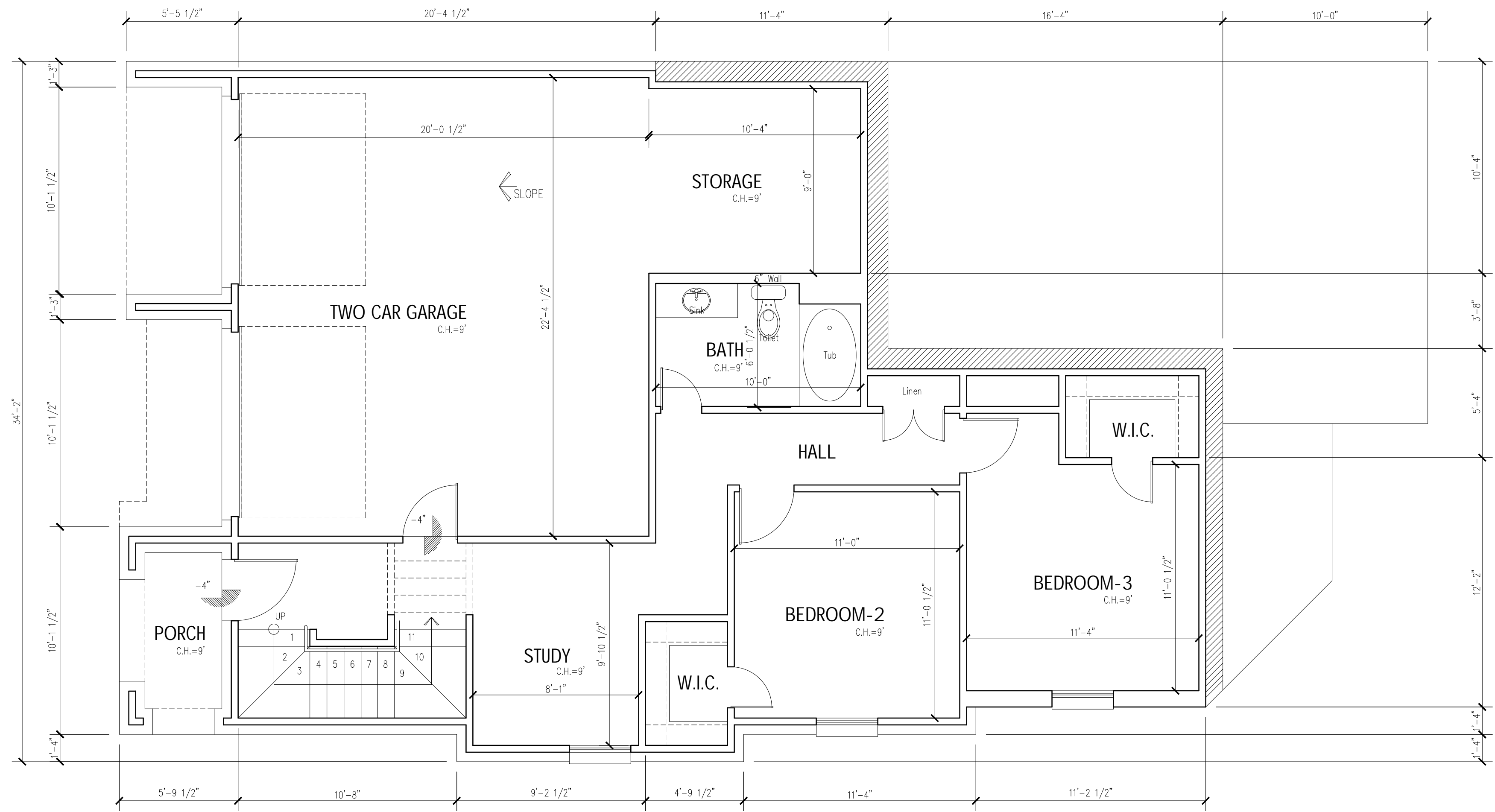
Plan Name:

1ST. FLOOR PLAN

Project #: **012022** Drawn By: **JAM**

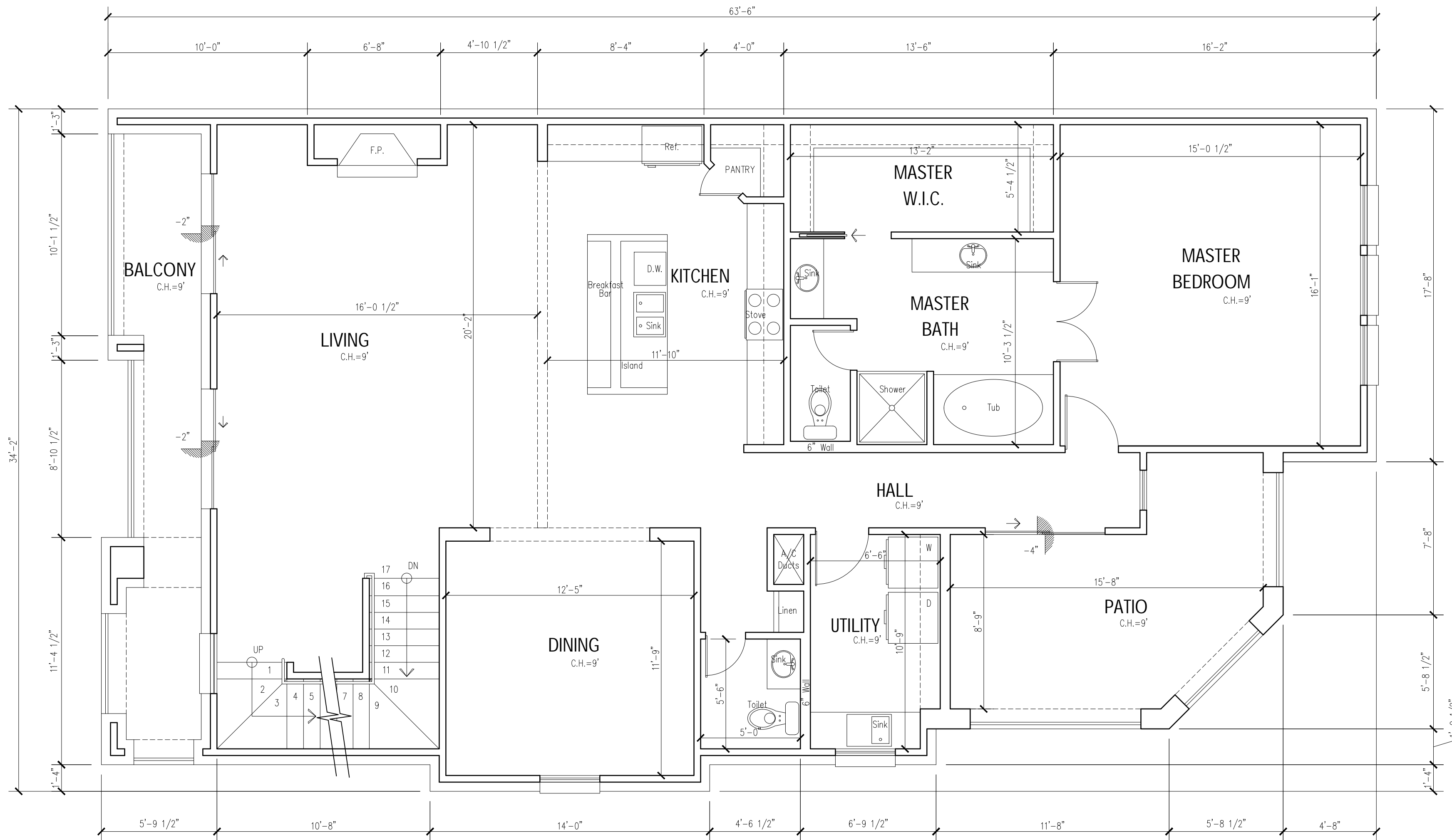
Date: **01-20-2022** Scale: **1/4" = 1'-0"**

Sheet #: **2** Of: **7**



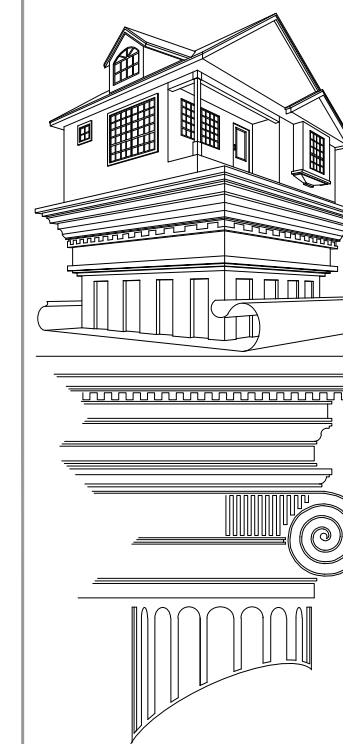
1ST. FLOOR PLAN

SCALE : 1/4" = 1'-0"



2ND. FLOOR PLAN

SCALE : 1/4" = 1'-0"



Martinez Design, LLC

Tel : 972-891-4160
Tel : 972-871-2512

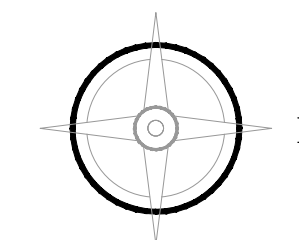
martinez73@hotmail.com

GENERAL NOTES

1. THE GENERAL CONTRACTOR/BUILDER SHALL EXAMINE AND VERIFY THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THESE PLANS/DOCUMENTS AND SHALL NOTIFY OWNER OF ANY DISCREPANCIES AND/OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
2. THESE PLANS ARE INTENDED FOR THE GENERAL RESIDENTIAL CONSTRUCTION PURPOSES ONLY AND ARE NOT EXHAUSTIVELY DETAILED OR FULLY SPECIFIED.
3. THE GENERAL CONTRACTOR SHALL SUPERVISE CONSTRUCTION AND IT SHALL BE RESPONSIBILITY TO SELECT, VERIFY, RESOLVE, AND INSTALL ALL EQUIPMENT AND MATERIALS AND TO CONTROL THE QUALITY THEREOF.
4. ALL WORK PERFORMED ON THIS PROJECT SHALL MEET OR EXCEED THE CURRENT EDITION OF THE UNIFORM BUILDING CODE AND ALL APPLICABLE STATE AND LOCAL ORDINANCES, CODE, AND REGULATIONS.
5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ANY ENGINEERING NECESSARY TO THE STABILITY OF THE STRUCTURE(S) OF THE PROJECT. FURTHERMORE IT RECOMMENDS THAT THESE PLANS SHALL BE REVIEWED BY A QUALIFIED PROFESSIONAL ENGINEER AND TOPOGRAPHIC SPECIALIST

SQUARE FOOTAGE

	AREA	SQ. FT.
1ST. FLOOR	AREA	738.0 SQ. FT.
2ND. FLOOR	AREA	1,547.0 SQ. FT.
GARAGE	AREA	682.0 SQ. FT.
PORCH		50.0 SQ. FT.
BALCONY		50.0 SQ. FT.
COVERED PATIO		174.0 SQ. FT.
TERRACE		353.0 SQ. FT.



Project Name:

NEW HOUSE

Project Address:

5405 RANGER DRIVE

Plan Name:

2ND. FLOOR PLAN

Project #:

012022

Drawn By:

JAM

Date:

01-20-2022

Scale:

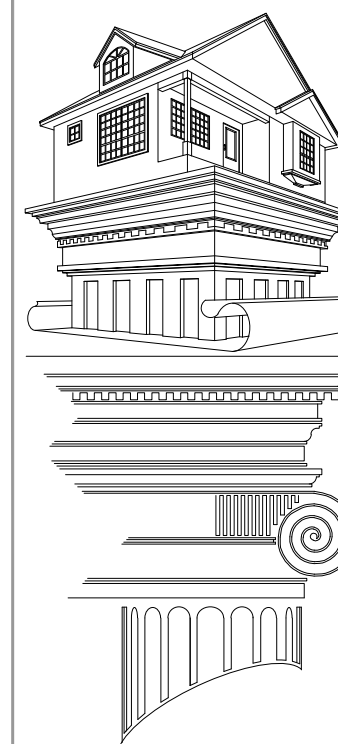
1/4" = 1'-0"

Sheet #:

3

Of:

7



Martinez Design, LLC

Tel : 972-891-4160
Tel : 972-871-2512

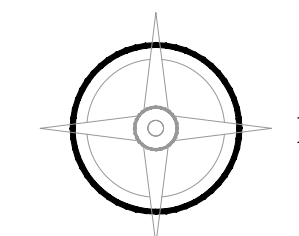
martinez73@hotmail.com

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TERRACE		353.0 SQ. FT.



Project Name:

NEW HOUSE

Project Address:

5405 RANGER DRIVE

Plan Name:

TERRACE PLAN

Project #: **012022**

Drawn By: **JAM**

Date: **01-20-2022**

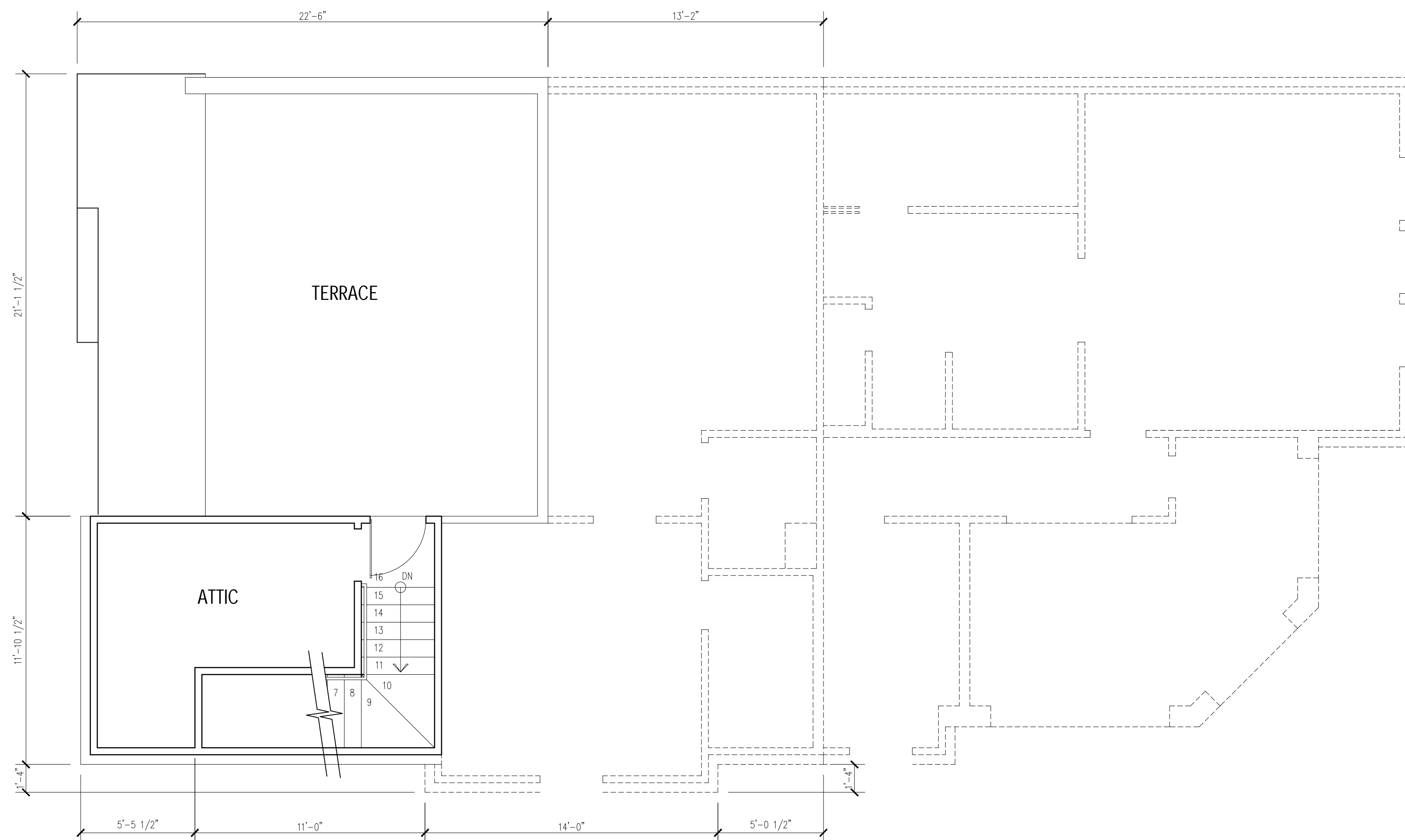
Scale: **1/4" = 1'-0"**

Sheet #:

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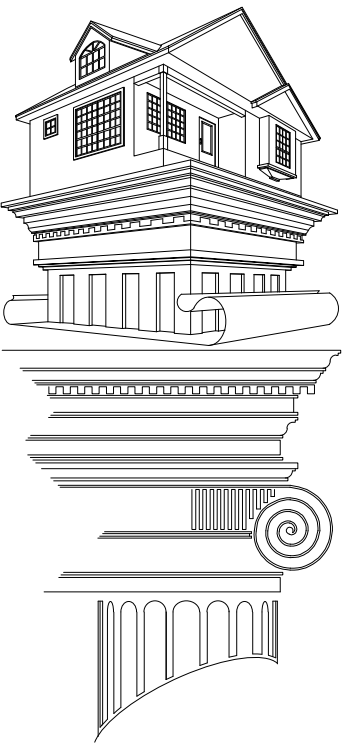
Of:

7



TERRACE PLAN

SCALE : 1/4" = 1'-0"



Martinez Design, LLC

Tel : 972-891-4160
Tel : 972-871-2512

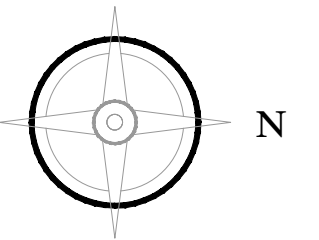
martinezbd73@hotmail.com

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Project Name:

NEW HOUSE

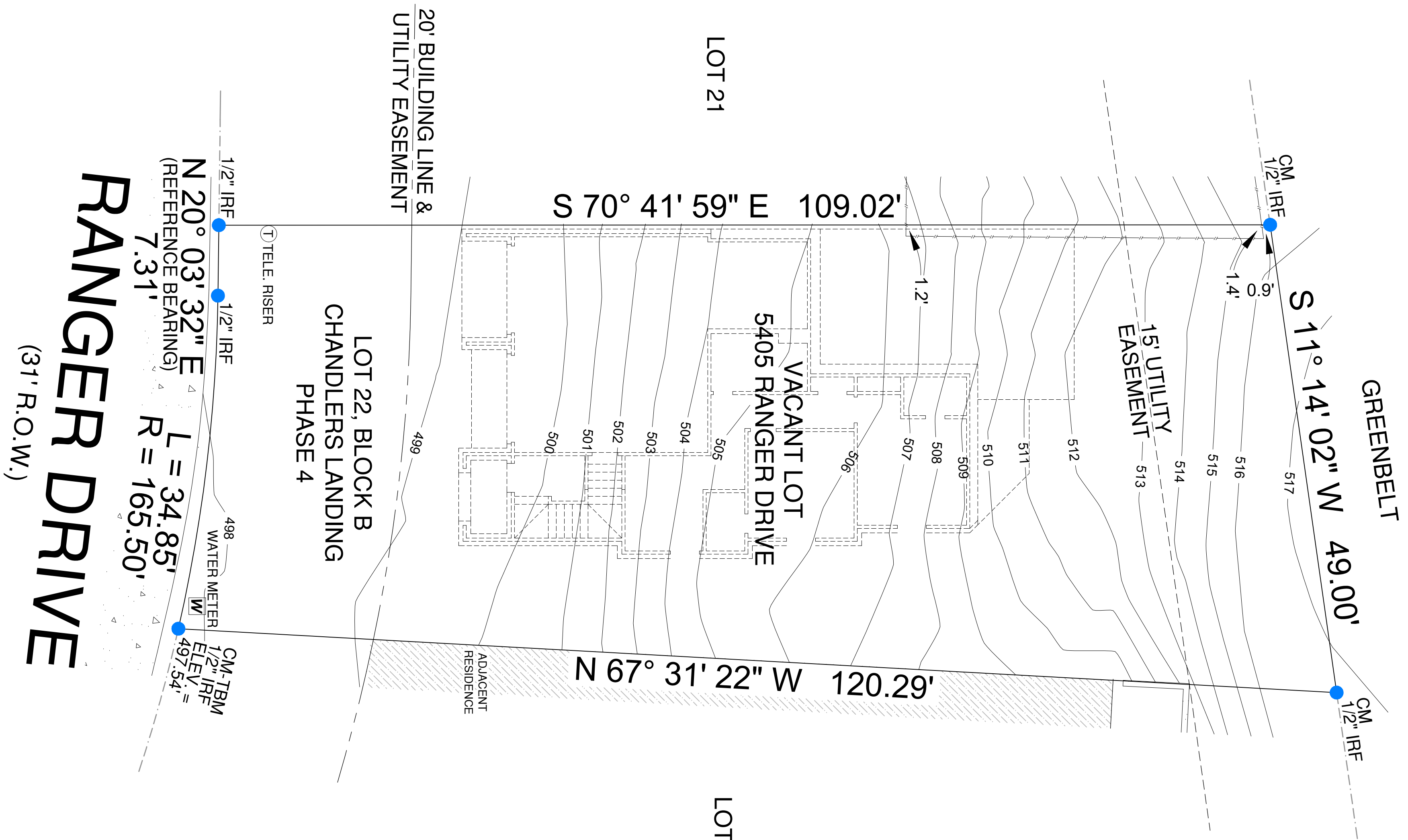
Project Address:

5405 RANGER DRIVE

Plan Name:

SITE PLAN

Project #:	012022	Drawn By:	JAM
Date:	01-20-2022	Scale:	1/8" = 1'-0"
Sheet #:	1	Of:	1



SITE PLAN

SCALE : 1/8" = 1'-0"



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-021

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
5401 Ranger Drive	Townhouse	1995	3,895	N/A	Brick
5403 Ranger Drive	Single-Family Home	1998	2,292	N/A	Brick and Siding
5405 Ranger Drive	Vacant	N/A	N/A	N/A	N/A
5407 Ranger Drive	Single-Family Home	1996	2,014	N/A	Brick and Siding
5409 Ranger Drive	Vacant	N/A	N/A	N/A	N/A
5411 Ranger Drive	Single-Family Home	2000	2,478	N/A	Brick
5412 Ranger Drive	Townhouse	1986	1,351	N/A	Brick and Siding
701 Yacht Club Drive	Single-Family Home	1997	4,185	N/A	Brick
604 Courageous Drive	Single-Family Home	1999	2,757	N/A	Brick
5735 Southern Cross Drive	Single-Family Home	1988	2,377	N/A	Brick and Siding
609 Courageous Drive	Single-Family Home	1988	3,064	N/A	Brick and Siding
605 Courageous Drive	Single-Family Home	2000	3,296	N/A	Brick
	AVERAGES:	1995	2,771	N/A	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-021

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



5401 Ranger Drive



5403 Ranger Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-021

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



5405 Ranger Drive



5407 Ranger Drive



CITY OF ROCKWALL

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



5409 Ranger Drive



5411 Ranger Drive



CITY OF ROCKWALL

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



5412 Ranger Drive



701 Yacht Club Drive



CITY OF ROCKWALL

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PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



604 Courageous Drive



5735 Southern Cross Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-021

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



609 Courageous Drive



605 Courageous Drive

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1214-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 22, BLOCK B, CHANDLER'S LANDING, PHASE 4 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ruben Chapa for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1214-acre parcel of land being described as Lot 22, Block B, Chandler's Landing, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family residential land uses, addressed as 5405 Ranger Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 8 (PD-8) of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] and to the requirements set forth in Planned Development District 8 (PD-8) -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JUNE, 2022.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 16, 2022

2nd Reading: June 6, 2022

Exhibit 'B':
Residential Plot Plan

Address: 5405 Ranger Drive

Legal Description: Lot 22, Block B, Chandler's Landing, Phase 4



Exhibit 'B':
Residential Plot Plan

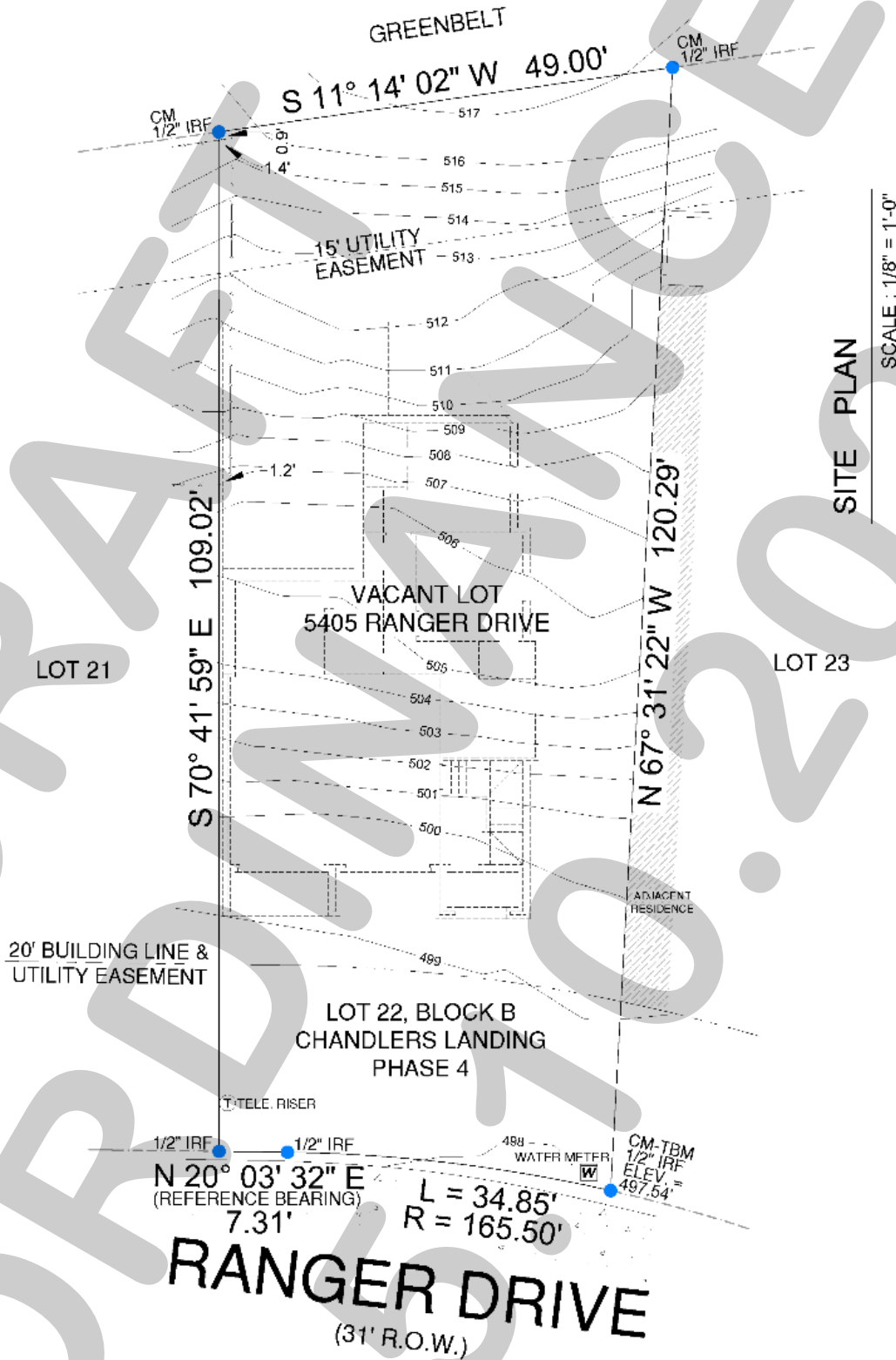


Exhibit 'C':
Building Elevations

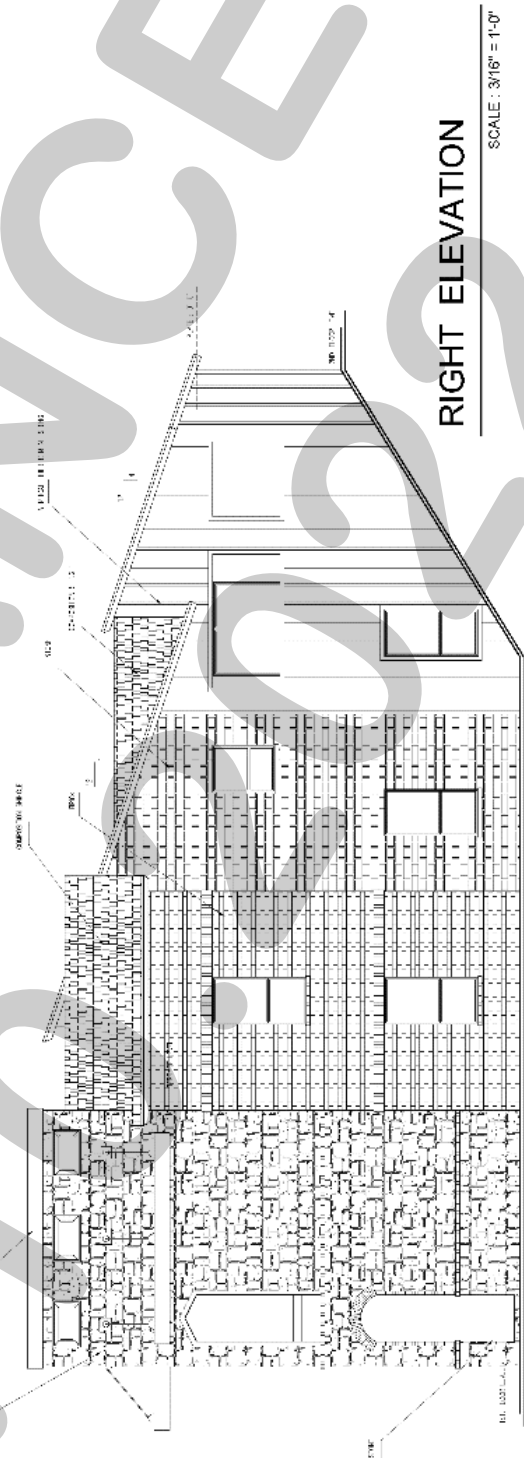
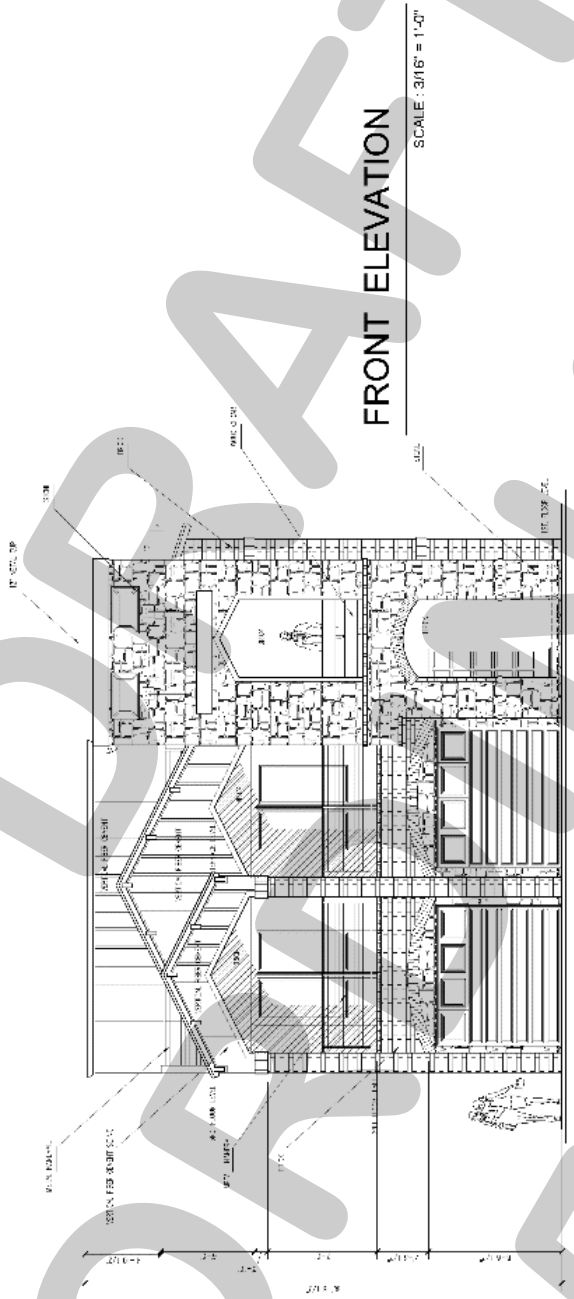
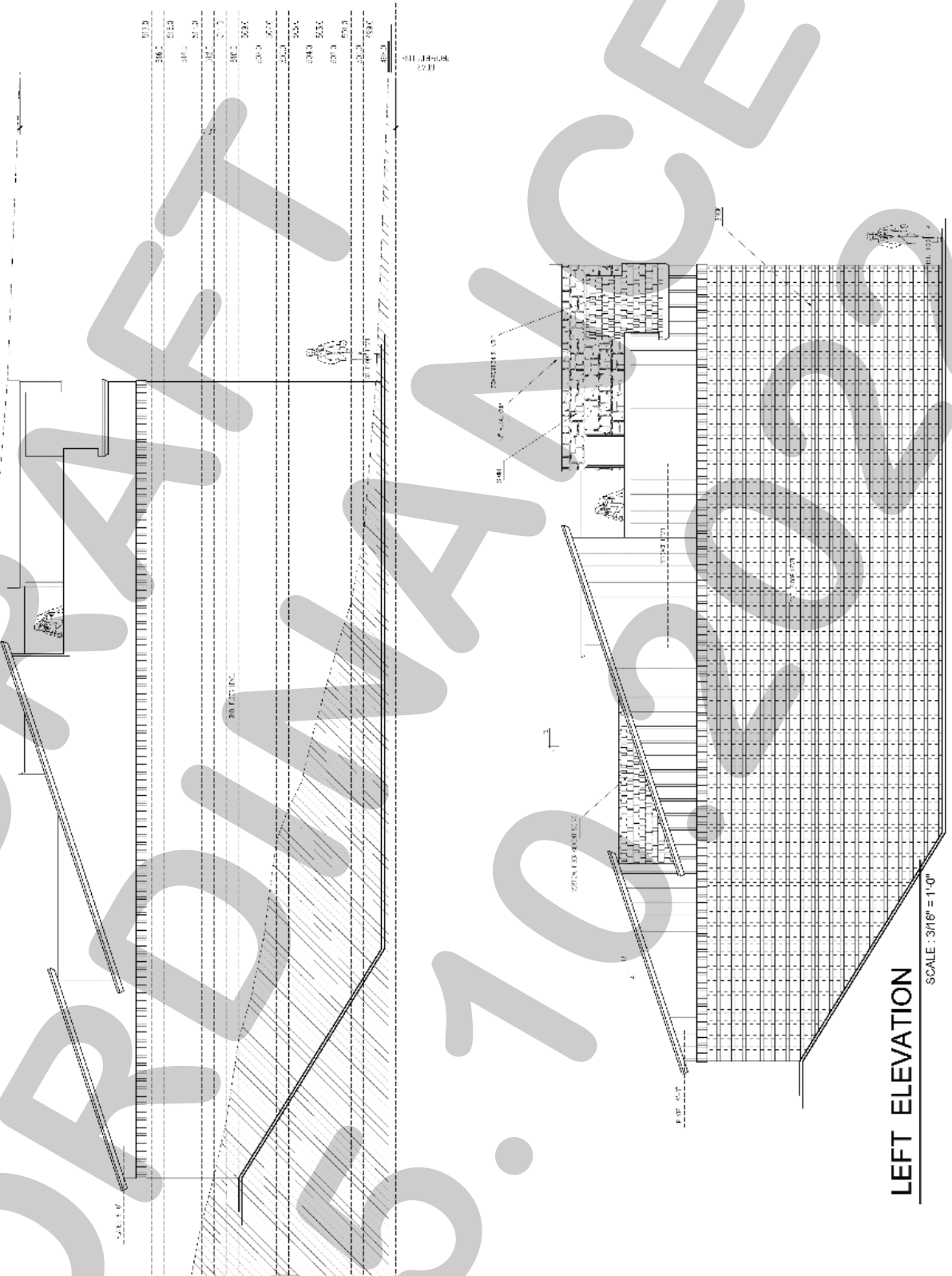


Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Planner*
DATE: May 10, 2022
SUBJECT: SP2022-016; *Site Plan for Incognito Winery*

The applicant, Charles Smith of Dynacap Holdings, LTD, is requesting the approval of a site plan for a *Craft Winery*. The subject property is a 2.202-acre tract of land (*i.e. Tract 12 of the A. Hanna Survey, Abstract No. 99*), situated within the IH-30 Overlay (IH-30 OV) District, and addressed as 1541 E. IH-30. According to the Rockwall Central Appraisal District (RCAD) currently existing on the subject property are [1] a 3,150 SF office building, and [2] a 3,160 SF office building. Situated within the 3,160 SF building is an existing *House of Worship* (*i.e. Landmark Church*). The applicant is requesting approval of a site plan for the purpose of establishing a *Craft Winery* and addressing the parking issues that currently exist on subject property. These parking issues were identified as part of a *Miscellaneous Case* [*i.e. Case No. MIS2020-016*] requested by the applicant for the purpose of granting a variance to the proximity requirements for alcohol sales from a *House of Worship*. This case was approved by the City Council on December 21, 2020. Based on the applicant's proposed site plan, the *Craft Winery* will utilize 1,200 SF of an existing 3,150 SF building. In addition, the shows that eight (8) parking spaces will be constructed for the *Craft Winery*.

According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) the proposed *Craft Winery* has the same parking requirement as a *Full-Service Restaurant*, which is one (1) parking space per 100 SF. In this case, the applicant is proposing to utilize 1,200 SF for the proposed *Craft Winery*, which equates to a parking requirement of 12 parking spaces (*i.e. 1,200 SF x 100 SF = 12 parking spaces*). The applicant's proposed site plan indicates eight (8) dedicated parking spaces will be provided. This leaves the applicant's request deficient from meeting the parking requirements of the Unified Development Code (UDC) by four (4) parking spaces. Staff should note that there are seven (7) parking spaces that currently serve the *House of Worship*, and that this land use is currently parking deficient. Staff should point out that these land uses (*i.e. a Craft Winery and House of Worship*) don't typically have the same hours of operation; however, in the event there is overlap the hours of operation the subject property would be under parked for both land uses. Staff should also note that even if both uses do not share the same hours of operation the *House of Worship* would remain parking deficient. The applicant will be requesting an exception to the parking requirements.

According to Subsection 06.02(E), *Landscape Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the subject property is required to have a 20-foot landscape buffer with "...two (2) canopy trees and four (4) accent trees ... planted per 100-feet of linear frontage along the *Primary Roadway* [*i.e. IH-30*]." In this case the applicant is required to plant four (4) canopy trees and eight (8) accent trees, all of which will be required to be irrigated in accordance with Subsection 05.04, *Irrigation Requirements*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). The applicant has indicated to staff that due to the existing powerlines he would like a variance to the canopy tree requirement in order to only plant eight (8) accent trees. In addition, the applicant has indicated that he would also like to request an exception to the irrigation requirements.

According to Section 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant an exception(s) or variance(s) to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In this case the applicant is requesting the following exceptions and variance: [1] an exception to the parking requirements, [2] an exception to the irrigation requirements, and [3] a variance to the landscaping requirements contained in the *General Overlay District Standards*. The applicant has provided a letter stating that the parking deficiency will not be an issue because the two (2) land uses on the subject property will not have hours of operation that overlap. The letter also points out the existing powerlines in front of the property that make it difficult for him to provide the canopy trees, and states that he

proposes to mitigate for the irrigation by utilizing drought tolerant plantings. Staff should point out that based on the existing layout of the subject, the applicant's request does appear to have merit when considering the buildings are currently existing without the required number of parking spaces; however, variances and exceptions are discretionary decisions for the Planning and Zoning Commission and require a supermajority vote (*i.e. three quarter vote of those members present*) by the Planning and Zoning Commission with a minimum of four (4) votes in the affirmative for approval. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the May 10, 2022 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1541 E Interstate 30 Suite 140, Rockwall, Texas
 SUBDIVISION _____ LOT _____ BLOCK _____
 GENERAL LOCATION N frontage road between John King & Hwy 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI (I think) CURRENT USE office
 PROPOSED ZONING no change PROPOSED USE Wine Bar
 ACREAGE 2.2 acres LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Dynacap Holdings Limited</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Incegnito Wherry</u>
CONTACT PERSON	<u>Charlie Smith</u>	CONTACT PERSON	<u>Charlie Smith</u>
ADDRESS	<u>1541 E Interstate 30 Suite 140</u>	ADDRESS	<u>1541 E Interstate 30 Suite 140</u>
CITY, STATE & ZIP	<u>Rockwall Texas 75087</u>	CITY, STATE & ZIP	<u>Rockwall Texas 75087</u>
PHONE	<u>214 212 2307</u>	PHONE	<u>214 212 2307</u>
E-MAIL	<u>charlie@ck2advisors.com</u>	E-MAIL	<u>charlie@ck2advisors.com</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Charles Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF April, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

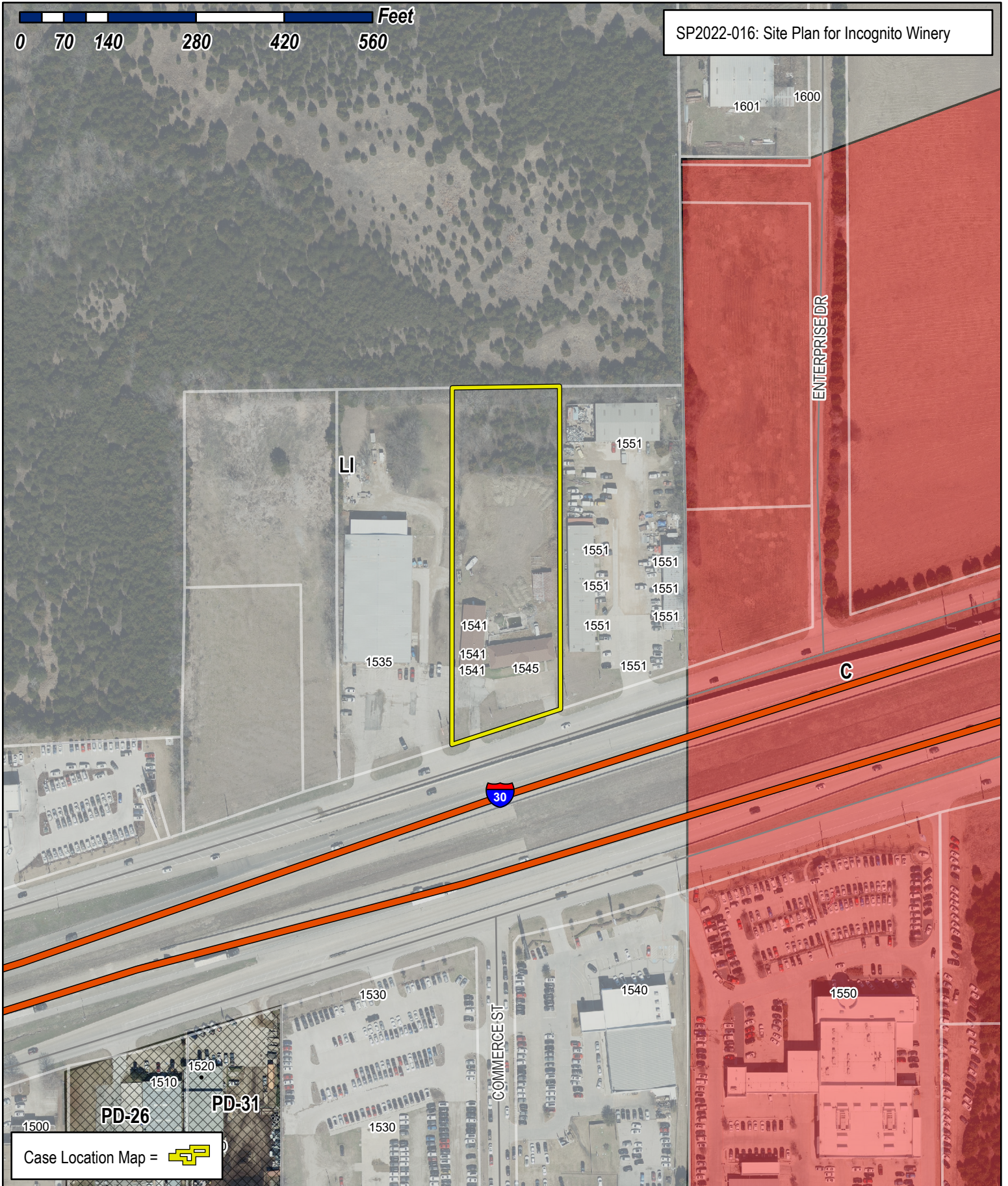
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF April, 2022
OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]

NOTARY PUBLIC STATE OF TEXAS
TERESA L MOSS
 Notary ID #130926177
 My Commission Expires December 8, 2024
 MY COMMISSION EXPIRES 12-08-2024

0 70 140 280 420 560 Feet

SP2022-016: Site Plan for Incognito Winery



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Incognito Winery
Attn: Charles Smith
214-212-2307**

TO: City of Rockwall

Permit #: COM 2021-2176
Address: 1541 E Interstate 30, Suite 140
Rockwall, Texas 75087

Property Owner: Dynacap Holdings Limited
Contact: Charlie Smith 214-212-2307

Permit Owner: Incognito Winery
Contact: Charlie Smith 214-212-2307

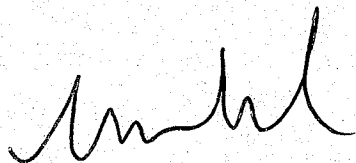
REQUEST for VARIANCE:

For the following, please see that attached survey. I have colored the grass at the front of the property in yellow for ease of visualization.

Canopy Trees – I have a thin space at the front of my property which is not concrete. See survey attached. There are power lines overhead so I request a variance to put in 8 accent trees in lieu of canopy trees that are known to be drought tolerant such as Desert Willow, Redbud, Prairie Flameleaf Sumac, Texas Persimmon, Texas Mountain Laurel, American Smoke Tree & Texas Redbud. The locations of the trees are identified on the attached survey with orange dots.

Irrigating the Accent Trees – I request a variance so as not to have to put in irrigation for the accent trees. The building is over 50 years old and has no sprinkler system anywhere on the property and to irrigate the accent trees I would have dig up the parking lot to put in irrigation and then tie it into the building.

Parking – In my original application I was told I would need 8 parking space, one of which needed to be an ADA parking space. Now I am told I need 12 spaces. The church has 7 spaces and I request to be able to share the church spaces when Incognito is open. The Church only has services on Sunday and Incognito will not be open on Sundays. Therefore, Incognito will be able to use the church parking spaces for the times Incognito is open, and conversely, the church will be able to use the parking spaces in from of 1541 when they are open on Sundays.



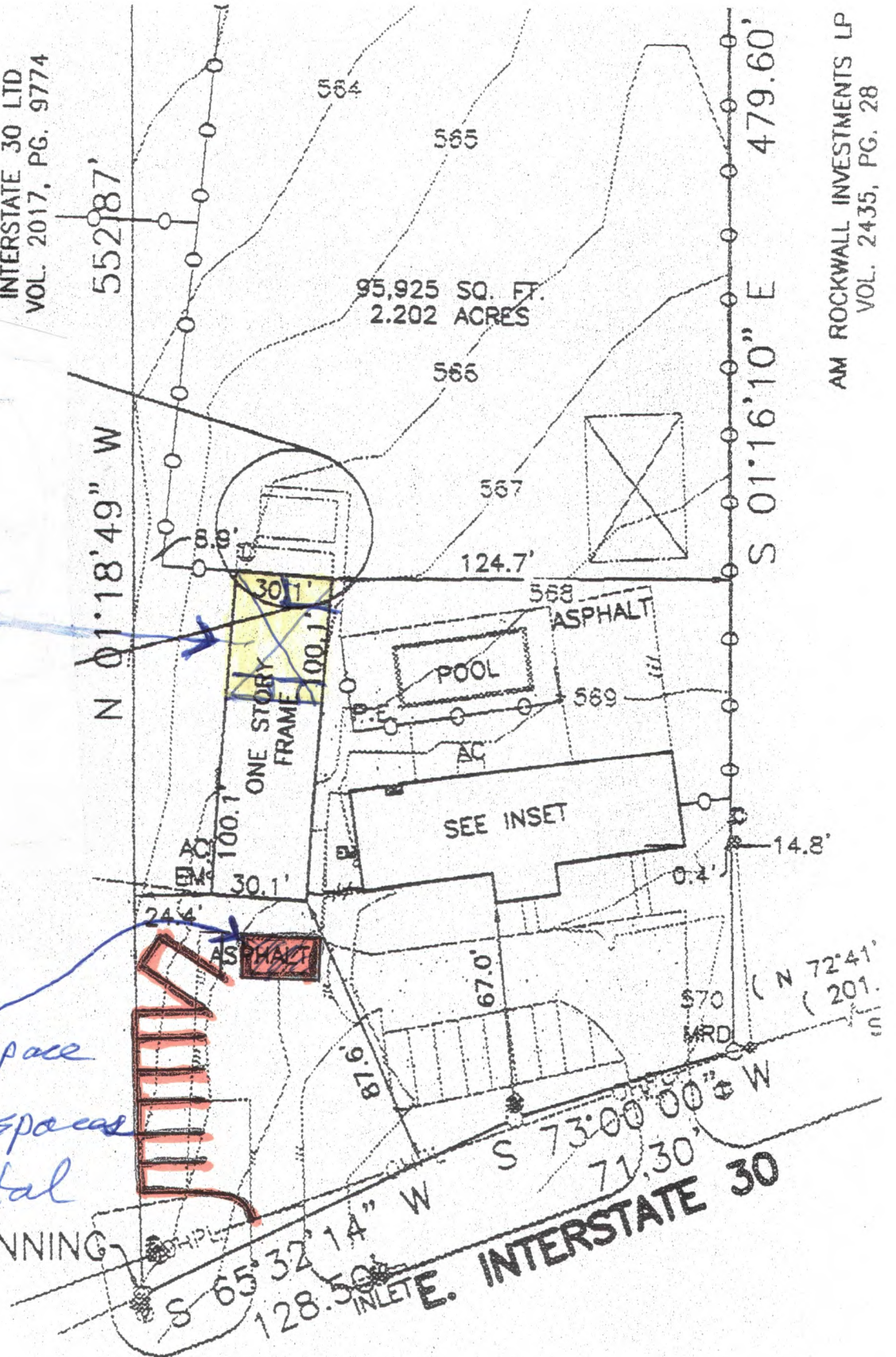
ZBH/1535 E.
INTERSTATE 30 LTD
VOL. 2017, PG. 9774

AM ROCKWALL INVESTMENTS LP
VOL. 2435, PG. 28

Wine Bar

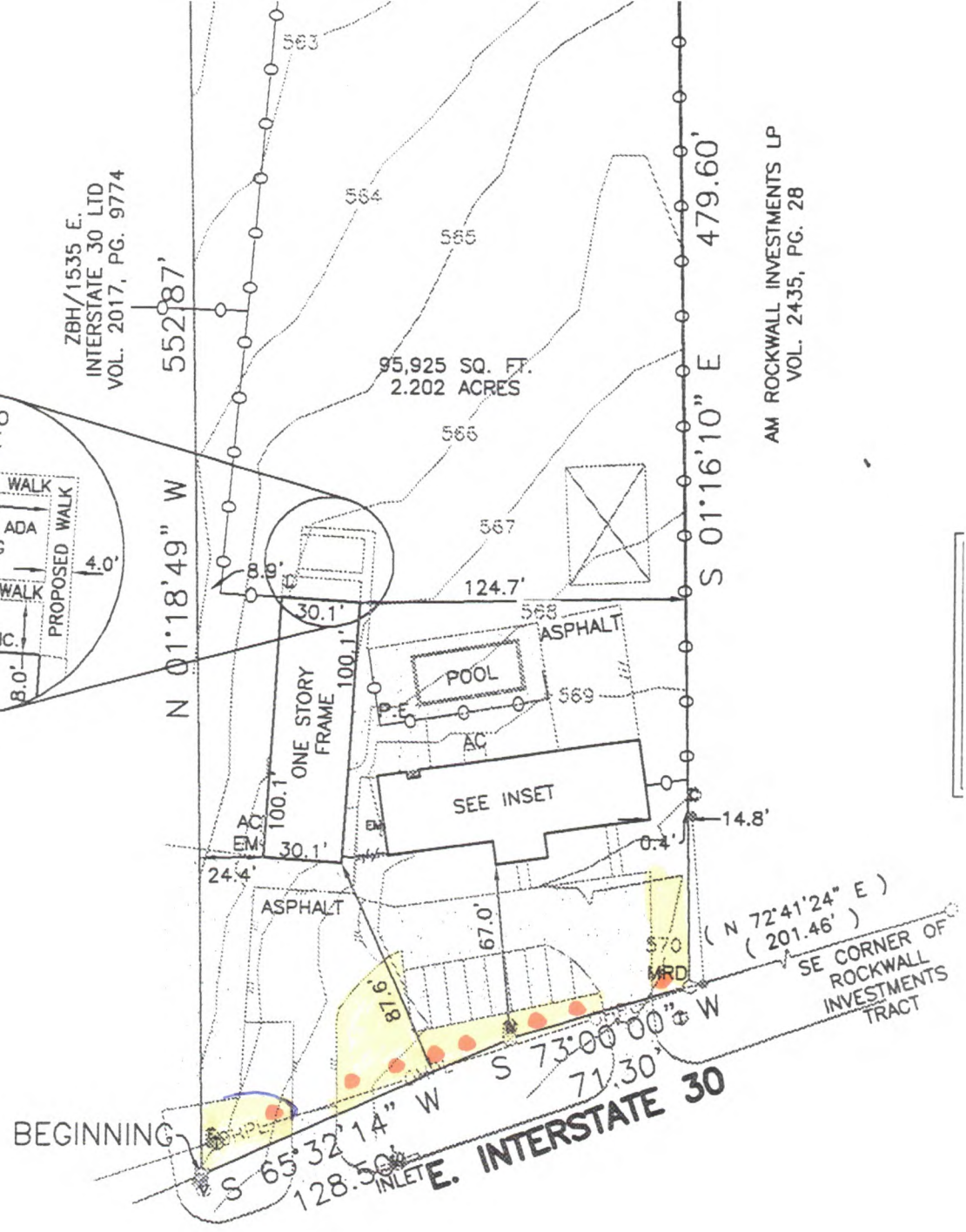
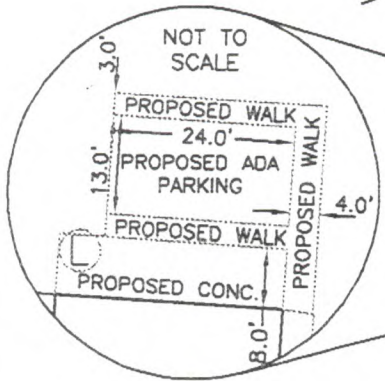
*ADA parking space
7 additional spaces
8 spaces total*

BEGINNING



ZBH/1535 E.
INTERSTATE 30 LID
VOL. 2017, PG. 9774

AM ROCKWALL INVESTMENTS LP
VOL. 2435, PG. 28



8 accent tree locations



TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: May 10, 2022
SUBJECT: SP2022-019; *Amended Site Plan for 1910 Alpha Drive*

On November 12, 2019, the Planning and Zoning Commission approved a site plan [Case No. SP2019-040] for three (3) *Multi-Tenant Office/Warehouse Buildings* on a 7.02-acre parcel of land located at the terminus of Alpha Drive. Following this approval, the property was replatted [Case No. P2020-018] into two (2) parcels of land (*i.e. Lots 2 & 3, Block D, Ellis Center, Phase 2 Addition*). This replat established the subject property as a 1.89-acre parcel of land (*i.e. Lot 3, Block D*), and separated the 12,000 SF *Multi-Tenant Office/Warehouse Building* on the subject property from the 50,400 SF and 25,200 SF *Multi-Tenant Office/Warehouse Buildings* on the remaining 5.129-acre parcel of land (*i.e. Lot 2, Block D*). More recently -- on April 12, 2022 --, the Neighborhood Improvement Services (NIS) Department issued two (2) *Notices of Violation* [Case No.'s CE2022-1921 & CE2022-1923] to the applicant who is the tenant of the 12,000 SF *Multi-Tenant Office/Warehouse Building*. The purpose of the *Notices of Violation* was to address [1] the construction of a fence and gate without a building permit (see *Figure 1*), and [2] the establishment outside storage without a valid Certificate of Occupancy (CO) (see *Figure 2*).

Based on the issued *Notices of Violation* the applicant submitted a development application on April 14, 2022 requesting to amend the approved site plan for the subject property to delineate the location and screening for the proposed outside storage. The subject property is zoned Light Industrial (LI) District. According to Article 04, *Permissible Uses*, of the Unified Development Code (UDC), *Outside Storage and/or Outside Display* is permitted within a Light Industrial (LI) District subject to conformance with the screening requirements of Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC). This section of the code states that "(o)utside storage of materials or vehicles shall be screened from all public streets, any residential zoning district or residentially used property, and parks and open space that abuts or is directly across a public street or alley from the subject property." In this case, the subject property is directly adjacent to *Herman E. Utley Middle School*, which is zoned Agricultural (AG) District. The Agricultural (AG) District is considered to be a residential zoning district and is subject to the *General Residential District Standards*. Subsection 01.05 goes on to state that "(t)he screening must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (*excluding tile wall or concrete masonry units [CMU]*) unless otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers ..."; however, the code does allow the Planning and Zoning Commission the ability to approve an alternative screening method that includes one of the following: [1] a wrought iron fence and three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*), or [2] a wrought iron fence with a mix of two (2) rows of staggered mature evergreen trees and one (1) row



FIGURE 1: FENCE AND GATE



FIGURE 2: OUTSIDE STORAGE

of deciduous canopy trees (*a minimum six [6] caliper inches*) along the entire length of the adjacency. In this case, the applicant has provided an amended site plan showing that the alternative screening method being proposed includes a single row of Afgan Pine or Burr Oak Trees planted on 20-foot centers with Desert Willow or Possumhaw Holly Trees and Texas Sage or Burford Holly Shrubs planted sporadically through the buffer. Staff should point out that the proposed screening method does not adhere to the alternative screening requirements for *Outside Storage and/or Outside Display* as stipulated by the Unified Development Code (UDC).

In addition, the applicant's exhibit indicates that 17 parking spaces will be removed from the property, and 16 of these spaces will be converted to outside storage. Staff should point out that this area is situated within an existing waterline easement. According to Subsection 1.10, *Easements and ROW*, of the Engineering Department's Engineering Standards of Design and Construction Manual, "(n)o structures (*buildings, walls, fences, decks, swimming pools, signage/monuments, etc.*) are allowed in or over any easements or rights-of-way." This section of the code has been interpreted to include outside storage of materials. Based on this staff has asked the applicant to move the outside storage area outside of the easement; however, the applicant has not submitted a revised plan showing conformance to this request. Staff should also point out that the replat that established the subject property as *Lot 3, Block D* also established a 24-foot *Fire Lane, Public Access, and Utility Easement* around the building, and that the fence -- *that was constructed without a permit* -- has a gate that restricts public access to this easement.

Based on these issues the applicant is requesting to [1] have the Planning and Zoning Commission approve a screening method that does not meet the *Alternative Screening Methods* called out by the Unified Development Code (UDC) for the *Outside Storage and/or Outside Display*, [2] to allow the outside storage to be situated within an established easement, and [3] to allow the public access to be removed behind the building. These are considered to be *Exceptions to the General Standards*. In accordance with Subsection 09.01, *Exceptions to General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...the Planning and Zoning Commission [may] grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." This section of the code goes on to state that "(i)n cases where an exception or exceptions is/are being requested, the applicant shall provide compensatory measures that directly offset the requested exception." In this case, the applicant has not provided a letter of explanation or outlined any compensatory measures. Staff is obligated to note that as part of the original site plan staff did include a comment asking that any *Outside Storage and/or Outside Display* be delineated as part of the site plan [Case No. SP2019-040]; however, the applicant/owner of the property did not address this comment. Based on this no further comments concerning *Outside Storage and/or Outside Display* were made as part of this case. With all of this being said, a request for exceptions to the *General Standards* are discretionary decisions for the Planning and Zoning Commission. In order to approve an exception or exceptions, the Planning and Zoning Commissions "...shall require a super majority vote (*i.e. three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval." Staff should note that if these exceptions are approved in full, that other requirements may need to be made to the site to account for the changes in parking and access.

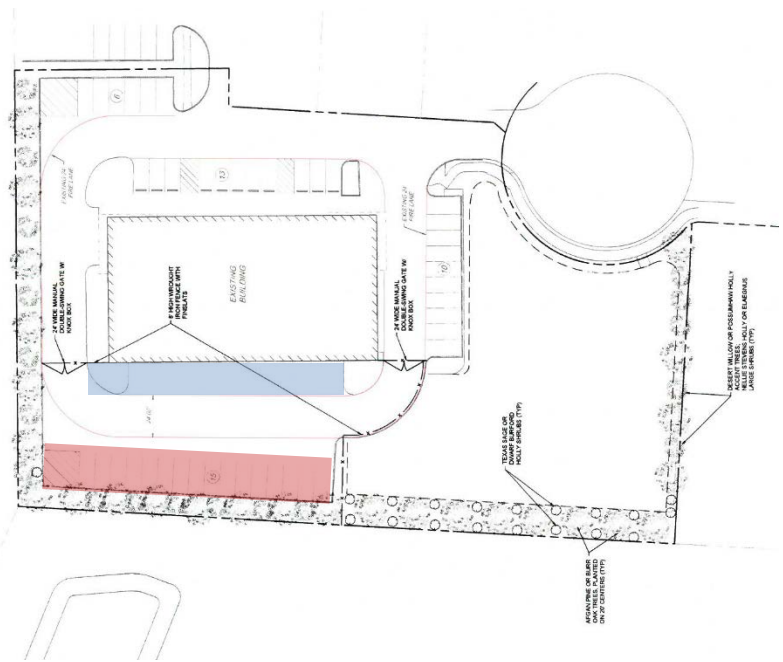


FIGURE 3: AMENDED SITE PLAN
RED: PROPOSED OUTSIDE STORAGE AREA
BLUE: POSSIBLE ALTERNATIVE OUTSIDE STORAGE AREA WHICH IS OUTSIDE OF ANY ESTABLISHED EASEMENTS

Should the Planning and Zoning Commission approve the applicants amended site plan with the requested exceptions, staff would propose the following conditions:

- (1) A Temporary Certificate of Occupancy (TCO) shall be issued until a replat of the subject property abandoning the public access easement is approved by the City Council and filed with Rockwall County;
- (2) The applicant will be required to obtain a Certificate of Occupancy (CO) or Temporary Certificate of Occupancy (TCO) prior to commencing operations on the subject property;
- (3) The applicant will need to obtain a Fence Permit from the Building Inspections Department prior to a Certificate of Occupancy (CO) or Temporary Certificate of Occupancy (TCO) being issued;
- (4) All landscaping shall be installed prior to the commencement of outside storage operations; and,
- (5) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 1910 Alpha Drive Road

SUBDIVISION Ellis Centre 2

LOT

BLOCK

GENERAL LOCATION On cul-de-sac terminus of Alpha Drive

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING LI

CURRENT USE Vacant

PROPOSED ZONING LI

PROPOSED USE Wholesale and Retail

ACREAGE 1.89

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER *Rockwall Urban Industrial LP*

APPLICANT Richard Sullivan

CONTACT PERSON *Reid Caldwell, Cap Manager*

CONTACT PERSON

ADDRESS *13150 Coit Road
Suite 205*

ADDRESS 7440 TX 121

CITY, STATE & ZIP *Dallas, Texas 75240*

CITY, STATE & ZIP McKinney, TX 75079

PHONE *214-457-8198*

PHONE 469-307-0746

E-MAIL *reid@longbowinterests.com*

E-MAIL Richard.Sullivan@srsdistribution.com

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

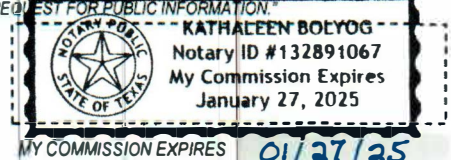
¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF April, 2022

OWNER'S SIGNATURE

Reid Caldwell
Kathleen Bolyog

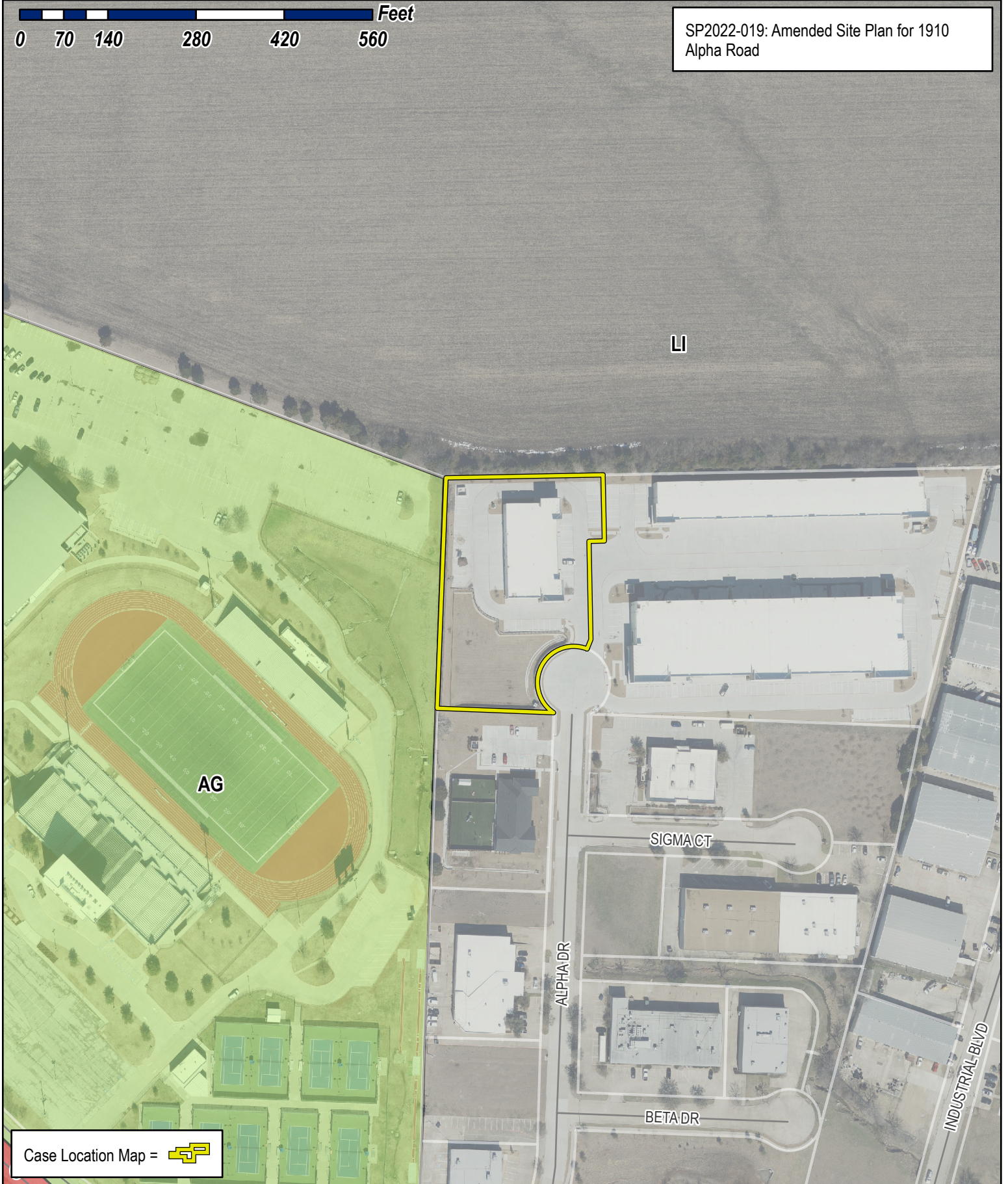
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES 01/27/25

0 70 140 280 420 560 Feet

SP2022-019: Amended Site Plan for 1910 Alpha Road



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08505
(609) 496-9369

May 3, 2022

Ryan C. Miller
Director of Planning and Zoning
Planning and Zoning Division
City of Rockwall

**Re: Amended Site Plan
1910 Alpha Drive, Building 3
Rockwall, TX 75087
Response Letter, City of Rockwall
Project Case Number: SP2022-020
IE Job #030-022**

Dear Mr. Miller,

We have reviewed your comments on the previously submitted plan and have adjusted accordingly for this enclosed Revision 1.

On behalf of the applicant, Longbow Interests, please find the below the response to your plan review comments, dated April 21, 2022. The response by Independence Engineering LLC is listed under the comment in ***Bold and Italics***.

Planning Department Review by Ryan Miller – Approved w/ Comments

1. M.3. For reference, include the case number (SP2022-020) in the lower right-hand corner of all pages on future submittals
Response: Completed.
2. I.8 The replat that established the subject property as Lot 3, Block D, Ellis Centre #2 Addition also established a 24-foot Fire Lane, Public Access and Utility Easement and a 20-foot Utility Easement at the rear of the proposed building. Please note that outside storage is not permitted within an established easement, and that a property owner cannot restrict access to a public access easement by fencing the easement.
Response: We will discuss the possible solutions to this issue at the hearing on May 10th.

Engineering Department Review by Sarah Johnston – Needs Review

1. Cannot block public access easement or Fire Lane. Will need to replat.
Response: We will discuss the possible solutions to this issue at the hearing on May 10th.
2. Must have a proper turnaround for vehicles. (64'x15' area striped "no parking").
Response: Parking beyond (west of) the gates has been indicated to be removed. Final parking space in the south parking bay has been designated as No Parking.

Parks Department Review by Travis Sales – Approved w/ Comments

1. Please provide a required versus proposed legend for landscape.
Response: The landscaping legend has been updated to show the requested information.
2. Please provide a plant chart showing container and caliper inch sizes and quantities.
Response: The landscaping legend has been updated to show the requested information.

Included with this submission please find the following:

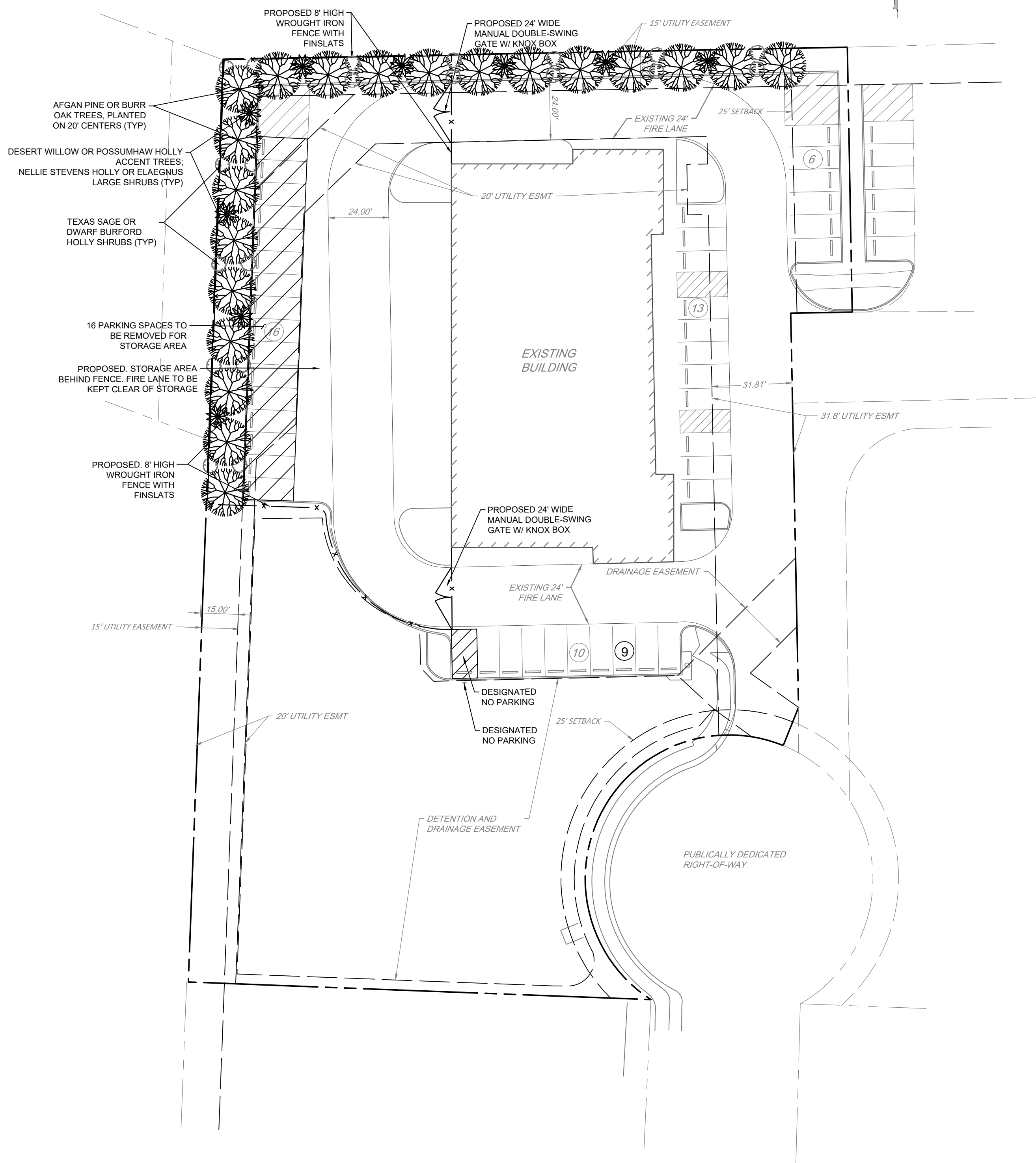
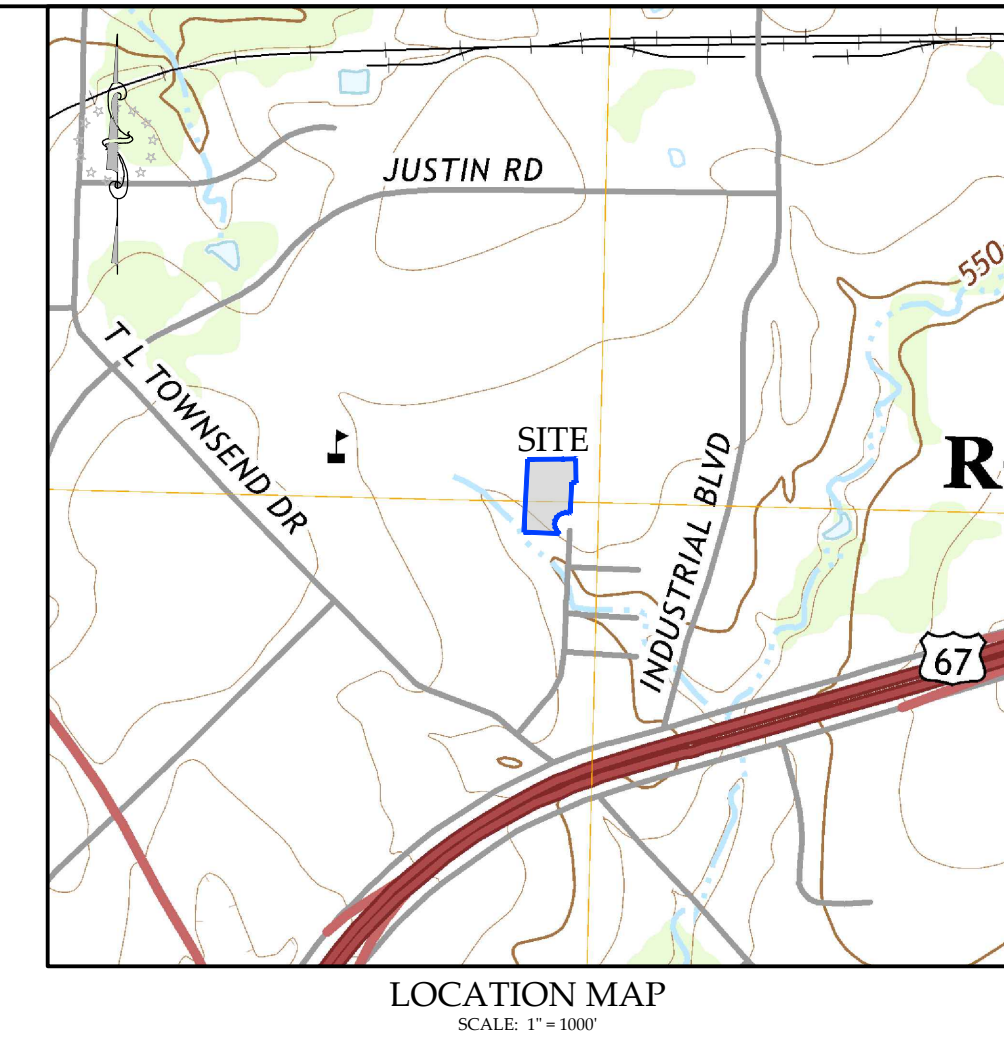
- Permit Plan, prepared by Independence Engineering LLC, dated 04-13-2022, last revision 05-03-2022

We believe these changes adequately address your concerns about the project. If you need anything else, or have any further questions, please don't hesitate to call me at (609) 496-9369, or via email nsander@independence.engineering.

Sincerely,
Independence Engineering

A handwritten signature in blue ink that reads "Neil E. Sander". The signature is written in a cursive style and is positioned above the typed name.

Neil E. Sander, PE, President
Cc:



SITE PLAN NOTES:

- OWNER: SRS DISTRIBUTION, INC. 7440 STATE HIGHWAY 121 MCKINNEY, TX 75070
- APPLICANT: LONGBOW INTERESTS 13150 COIT ROAD DALLAS, TX 75240
- ENGINEER: INDEPENDENCE ENGINEERING OF NJ LLC 102 FARNSWORTH AVENUE, SUITE 310 BORDENTOWN, NJ 08505
- ZONING DISTRICT: LI (LIGHT INDUSTRIAL ZONE)
- EXISTING CONDITIONS SHOWN HEREON ARE BASED ON A LIMITED AMOUNT OF INFORMATION AVAILABLE AT THE TIME OF SITE EVALUATION. ALL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING A BID, AND SHALL BE ADJUSTED IF NECESSARY. NO ADDITIONAL COMPENSATION WILL BE GRANTED AFTER A BID AWARD FOR ANY EQUIPMENT, MATERIAL, OR LABOR REQUIRED TO MODIFY THE DESIGN TO MATCH FIELD CONDITIONS.
- NO BOUNDARY OR TOPOGRAPHIC SURVEY WAS PERFORMED IN THE PREPARATION OF THIS PLAN. THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF FLORIDA, TO PERFORM TESTING AND ANALYSIS AS NECESSARY.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUESTED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS PROVIDED BY ALL APPLICABLE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC. CONTRACTOR SHALL REPAIR ANY DISTURBED AREAS TO EXISTING CONDITION, INCLUDING PAVED AREAS AND LANDSCAPED AREAS.
- SOLID WASTE SHALL BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL UNSUITABLE EXCAVATED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED DURING CONSTRUCTION. SHORING SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH CURRENT OSHA STANDARDS. CONTRACTOR SHALL MAKE SUFFICIENT ADDITIONAL PROVISIONS TO ENSURE STABILITY OF ALL CONTIGUOUS AND ADJACENT STRUCTURES, AS FIELD CONDITIONS MAY DICTATE.
- CONTRACTOR AND ANY SUBCONTRACTORS SHALL CARRY STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS' LIABILITY INSURANCE, AND COMMERCIAL GENERAL LIABILITY INSURANCE AT REQUIRED LIMITS OF COVERAGE. ALL CONTRACTORS SHALL HAVE CGL POLICIES ISSUED TO INCLUDE INDEPENDENCE ENGINEERING LLC, WITH ITS SUBCONSULTANTS LISTED AS ADDITIONAL INSURED. ALL CONTRACTORS MUST FURNISH INDEPENDENCE ENGINEERING LLC WITH CERTIFICATES OF INSURANCE PRIOR TO THE COMMENCEMENT OF WORK, AND UPON RENEWAL DURING THE TERM OF CONSTRUCTION. CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS INDEPENDENCE ENGINEERING LLC AND ITS SUBCONSULTANTS AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY CONTRACTOR'S EMPLOYEES, TO THE FULLEST EXTENT PERMITTED BY LAW.
- NEITHER THE PROFESSIONAL ACTIVITIES OF INDEPENDENCE ENGINEERING LLC NOR THE PRESENCE OF ITS EMPLOYEES AT THE PROJECT SITE SHALL RELIEVE THE CONTRACTOR OF ITS DUTIES, OBLIGATIONS, AND/OR RESPONSIBILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MEANS, METHODS, SEQUENCING AND/OR PROTOCOLS NECESSARY FOR PERFORMING, COORDINATING, AND/OR SUPERINTENDING THE WORK IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND APPLICABLE HEALTH AND SAFETY REGULATIONS. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR SITE SAFETY PLANNING, PROVISIONING, IMPLEMENTATION, AND MAINTENANCE. INDEPENDENCE ENGINEERING LLC BEARS NO AUTHORITY TO EXERCISE CONTROL OVER CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH CONSTRUCTION.
- INDEPENDENCE ENGINEERING LLC SHALL REVIEW AND TAKE APPROPRIATE ACTION ON SUBMITTALS TO BE SUBMITTED BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS, PRODUCT, DATA, AND MATERIAL SAMPLES. INDEPENDENCE ENGINEERING LLC SHALL REVIEW SUBMITTALS ONLY FOR CONSISTENCY WITH THE DESIGN DRAWINGS. SUBMITTALS SHALL NOT BE REVIEWED FOR CONSTRUCTION MEANS AND METHODS, COORDINATION OF TRADES, OR SITE SAFETY, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. INDEPENDENCE ENGINEERING LLC SHALL NOT BE LIABLE FOR DEVIATIONS OR THE RESULTS THEREFROM FROM THE APPROVED CONSTRUCTION DRAWINGS, UNLESS SAID DEVIATIONS ARE PROVIDED IN WRITING BY THE CONTRACTOR PRIOR TO IMPLEMENTATION, AND APPROVED IN WRITING BY INDEPENDENCE ENGINEERING LLC.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES THEREON, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM INDEPENDENCE ENGINEERING LLC AND THE PROJECT OWNER. SHOULD THE CONTRACTOR DEVIATE FROM THE APPROVED PROJECT DOCUMENTS, HE SHALL BEAR SOLE RESPONSIBILITY FOR FINES, PENALTIES, AND ALL COMPENSATORY AND PUNITIVE DAMAGES RESULTING THEREFROM. IN SUCH CASE, THE CONTRACTOR SHALL INDEMNIFY AND HOLD INDEPENDENCE ENGINEERING LLC HARMLESS AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY CONTRACTOR'S EMPLOYEES, TO THE FULLEST EXTENT PERMITTED BY LAW.
- DISPUTES BETWEEN INDEPENDENCE ENGINEERING LLC AND THE CONTRACTOR SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL INCLUDE A PROVISION IN THEIR CONTRACTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, AND SUPPLIERS, PROVIDING FOR MEDIATION AS THE PRIMARY METHOD OF DISPUTE RESOLUTION BETWEEN THOSE PARTIES.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION, INCLUDING LOCALLY ADOPTED REVISIONS THERETO.
- BUILDING SETBACKS SHOWN HEREON ARE MEASURED FROM THE EXTERIOR FACE OF BUILDING WALLS. SETBACKS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ARCHITECTURAL ELEMENTS, SIGNAGE, OR OTHER EXTERIOR EXTENSION UNLESS OTHERWISE NOTED.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES AND CONNECTION POINTS ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY IN THE FIELD AND WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY "DIG SAFE 811" 72 HOURS PRIOR TO ANY EXCAVATION ON SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER AND SEWER AUTHORITIES TO MARK OUT THEIR SYSTEMS. THE CONTRACTOR SHALL COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER. STONES SHALL NOT BE LARGER THAN 6 INCHES IN ANY DIMENSION. DEMOLITION MATERIALS MAY NOT BE USED AS FILL. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- ALL DEBRIS, RUBBISH, SALVAGE, HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED AT THE EARLIEST POSSIBLE TIME. REMOVED MATERIALS MAY NOT BE STORED, SOLD, OR BURNED ON SITE. HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE REMOVED IN ACCORDANCE WITH PROCEDURES ADOPTED BY THE LOCAL FIRE DEPARTMENT AND OTHER JURISDICTIONAL AGENCIES.
- LANDSCAPE SCREENING LOADING DOCKS AND OUTSIDE STORAGE AREAS ALTERNATIVE #1 THREE TIERED SCREEN, CANOPY TREE (20-FOOT ON CENTER), ACCENT TREE OR LARGE SHRUB, SMALL SHRUB, MINIMUM 6' WROUGHT IRON FENCE.

LANDSCAPE SCHEDULE

SYMBOL	DESCRIPTION	REQUIRED	PROPOSED	
	LARGE TREE 1 PER 20' ON CENTER 400 LF PERIMETER	20	20	2.5" CAL.
	SMALL TREE	N/A	9	2.0" CAL.
	SHRUB	N/A	20	6" CONT.

REV	DATE	DESCRIPTION
1	05-10-22	ADDED UTILITY EASEMENT PER CITY COMMENTS

Independence ENGINEERING, L.L.C.
102 FARNSWORTH AVENUE, SUITE 310
BORDENTOWN, NJ 08505
(609) 496-9369 INDEPENDENCE@INDEPENDENCE.COM

PERMIT PLAN for
SRS DISTRIBUTORS, INC. - ROCKWALL TX
1910 ALPHA DRIVE, BUILDING 3, CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS 75087

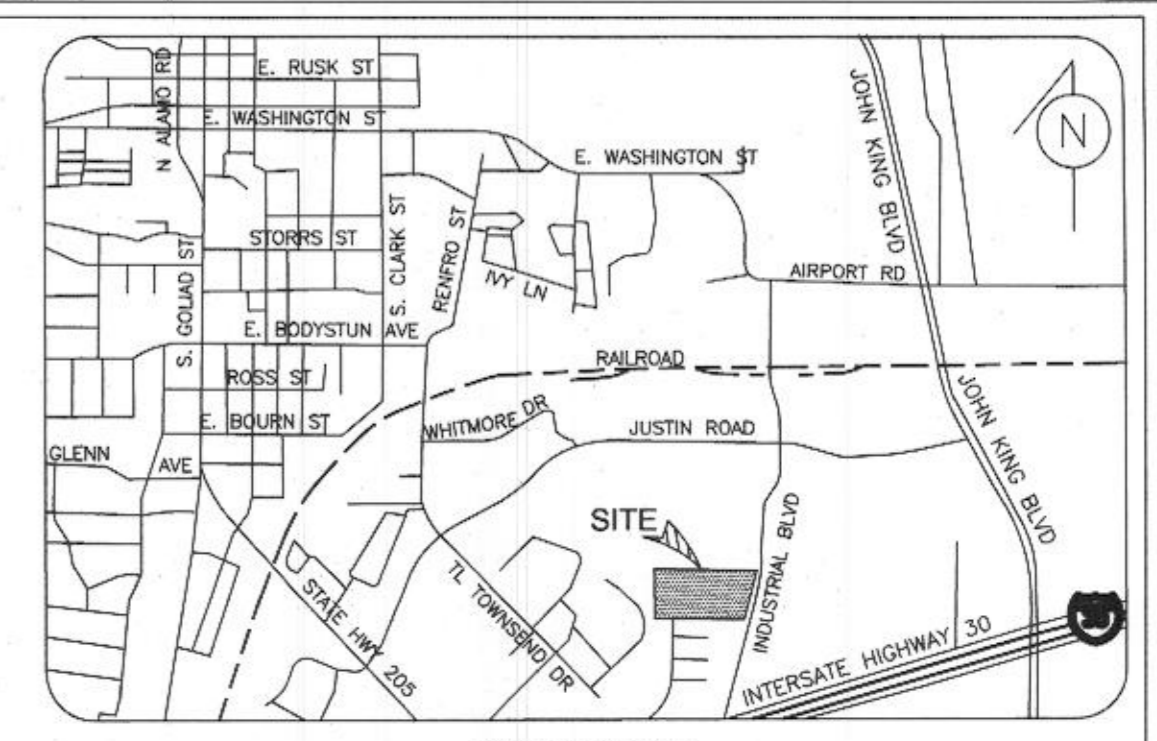
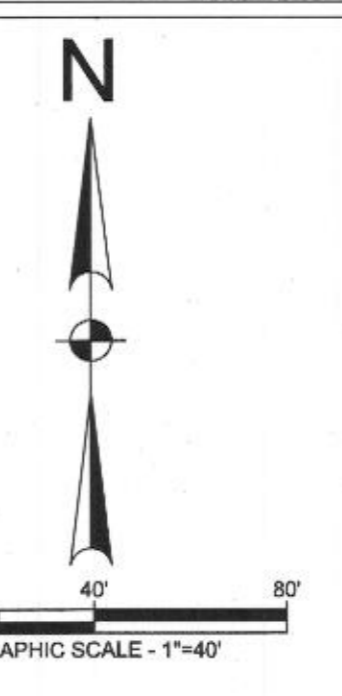
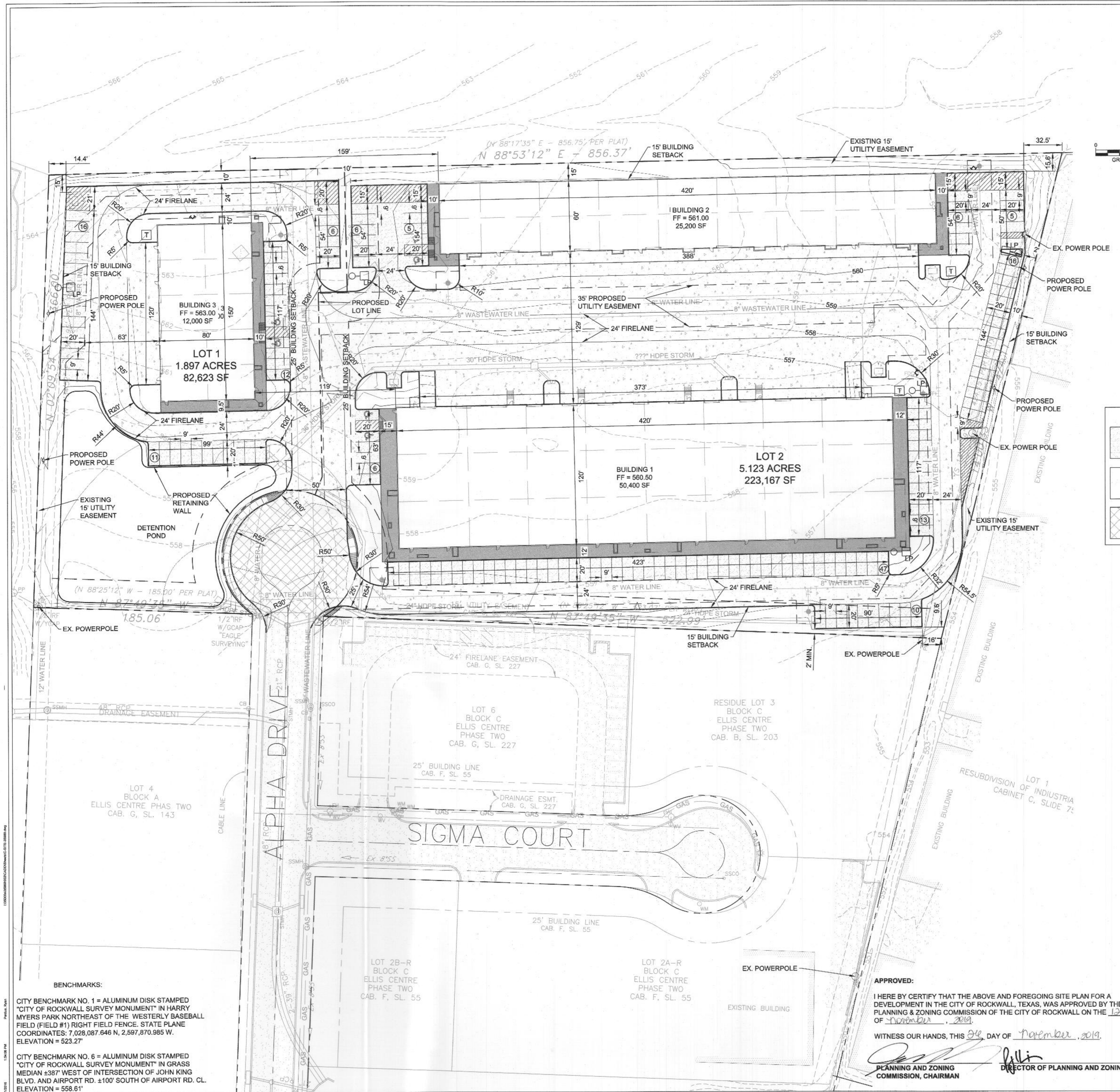
811
ID #
0 15 30
GRAPHIC SCALE: 1" = 30'

PROJECT	030-022
DATE	04-13-2022
SCALE	1" = 30'
DRAWN	MAS
DESIGNED	KL
CHECKED	NES

CP-A

CASE NUMBER	SHEET	OF
SP2022-020	1	1

R:\030\030-022\ROCKWALLS\TYPING\030-022-020\DWG\SP2022-020.DWG (PLOT) DATE PLOTTED: 05/10/2022 10:51:00 AM



SHEET DATA:

CURRENT ZONING:	LIGHT INDUSTRIAL
PROPOSED LAND USE:	LIGHT INDUSTRIAL
TOTAL SITE AREA:	7.02 ACRES

BUILDING:		
BUILDING 1	50,400	SF
BUILDING 2	25,200	SF
BUILDING 3	12,000	SF

PARKING:		
REQUIRED: 1 SPACE/1,000 SF (75%)	1 SPACE/300 SF (25%)	
TOTAL REQUIRED:	139	SPACES
PROVIDED:	159	SPACES
ACCESSIBLE SPACES PROVIDED:	6	SPACES

*SPACES ARE INCLUDED IN TOTAL ABOVE

PAVING LEGEND

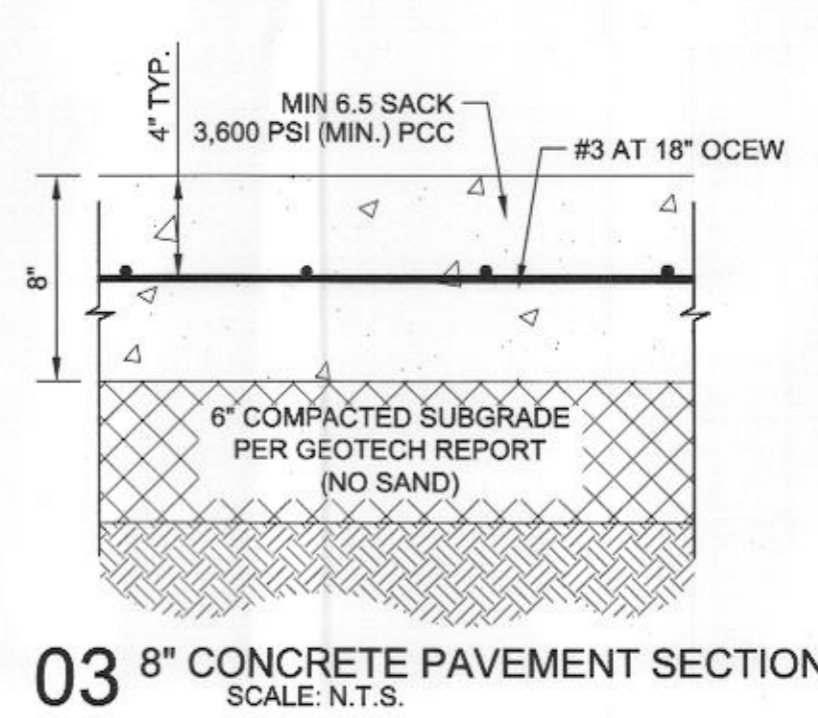
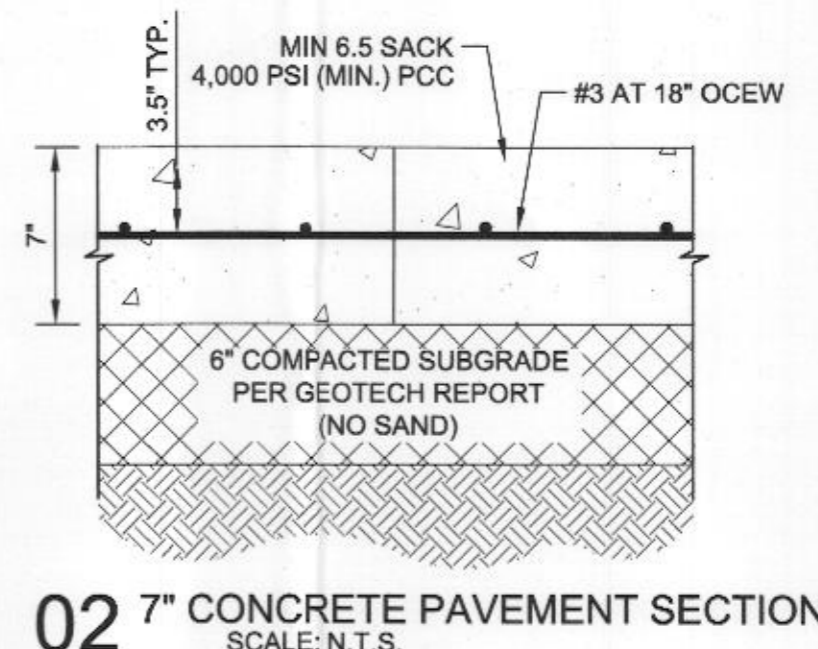
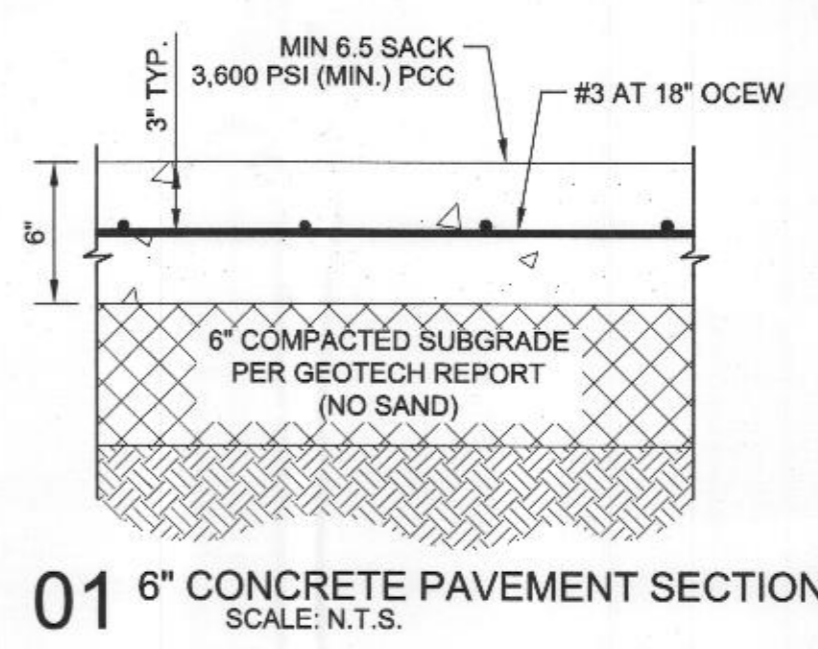
	6" 3,600 PSI CONCRETE PAVEMENT.		4" SIDEWALK
	7" 4,000 PSI CONCRETE PAVEMENT.		6" CURB
	8" 3,600 PSI CONCRETE PAVEMENT.		FIRE LANE
			PROPERTY LINE

EXISTING FEATURES LEGEND

	F.H. FIRE HYDRANT
	PP OVERHEAD POWERPOLE
	SSMH SANITARY SEWER MANHOLE
	WV WATER VALVE
	558 EXISTING CONTOURS
	FDC

PROPOSED FEATURES LEGEND

	POWER POLE
	FIRE HYDRANT
	GRATE INLET
	CURB INLET
	STORM HEADWALL
	TRANSFORMER PAD
	558 PROPOSED CONTOURS
	LIGHT POLE
	# NO. OF PARKING SPACES



APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 12TH DAY OF November, 2019.

WITNESS OUR HANDS, THIS 12TH DAY OF November, 2019.

[Signature]
PLANNING AND ZONING COMMISSION, CHAIRMAN

[Signature]
DIRECTOR OF PLANNING AND ZONING

Rockwall Urban + Industrial Center
END OF ALPHA DRIVE
ROCKWALL, TX 75087



Revision No.	Date	Description

PRELIMINARY
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY APPROVAL, PERMITTING, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY, OR UNDER THE SUPERVISION OF:

DYLAN B. HEDRICK 102108
NAME P.E. NO.
DATE 11/15/2019
TBPE FIRM # F-312

OWNER/ DEVELOPER
ROCKWALL URBAN INDUSTRIAL, LP
13150 COIT ROAD
DALLAS, TX. 75240
CONTACT: REID CALDWELL
EMAIL: reid@longbowinterests.com
TEL: (214) 457-8198

ENGINEER
HALFF ASSOCIATES, INC.
1201 NORTH BOWSER ROAD
RICHARDSON, TX. 75081
CONTACT: DYLAN HEDRICK
EMAIL: dhedrick@halff.com
TEL: (214) 217-6426
TBPE FIRM# F-312

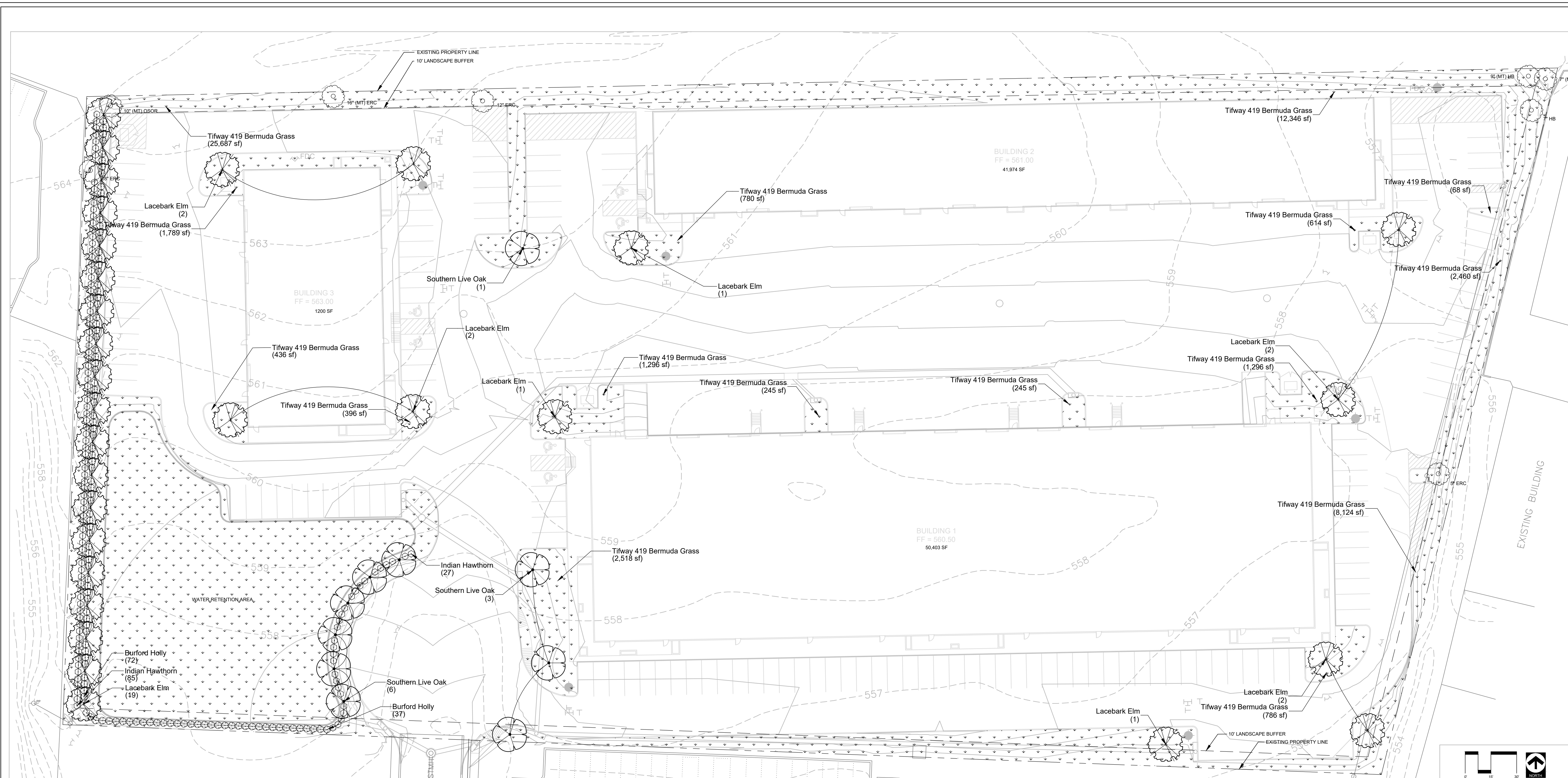
ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAIN WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF DESIGN.

Project No.:	35989
Issued:	NOVEMBER 2019
Drawn By:	REP
Checked By:	DBH
Scale:	AS SHOWN
Sheet Title	DETAILED SITE PLAN
1 OF 1	Sheet Number

BENCHMARKS:

CITY BENCHMARK NO. 1 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN HARRY MYERS PARK NORTHEAST OF THE WESTERLY BASEBALL FIELD (FIELD #1) RIGHT FIELD FENCE. STATE PLANE COORDINATES: 7,028,087.646 N, 2,597,870.985 W. ELEVATION = 523.27'

CITY BENCHMARK NO. 6 = ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" IN GRASS MEDIAN ±387' WEST OF INTERSECTION OF JOHN KING BLVD. AND AIRPORT RD. ±100' SOUTH OF AIRPORT RD. CL. ELEVATION = 558.61'



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT	SPD	QTY
	Quercus virginiana / Southern Live Oak	B & B	4" Cal	10'-12" Ht.	6'-8'	10
	Ulmus parvifolia / Lacebark Elm	B & B	4" Cal	10'-12" Ht.	6'-8'	30
SHRUBS	BOTANICAL / COMMON NAME	SIZE	HT	SPD	QTY	
	Ilex comuta 'Burfordii' / Burford Holly	5 gal	18"-24"	12"-18"	109	
	Rhaphiolepis indica / Indian Hawthorn	5 gal	18"-24"	12"-18"	112	
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SIZE	QTY		
	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	SOLID SOD		59,764 sf		

LANDSCAPE REQUIREMENTS

REQUIRED LANDSCAPING		
ZONED LIGHT INDUSTRIAL	REQUIRED	PROVIDED
TOTAL LANDSCAPE AREA PROVIDED (%)	15% OF SITE	21% OF SITE
TOTAL LANDSCAPE AREA PROVIDED (SF)	45,869 SF	63,914 SF
TREE MITIGATION		
MITIGATION REQUIREMENTS (inches)	REQUIRED	PROVIDED
	59" CALIPER*	160" CALIPER
* See Sheet L.1.01 for calculations		
PARKING LOT LANDSCAPING		
200 SF MIN / 2 ROWS OR MORE	REQUIRED	PROVIDED
3 AREAS 200 FT/SQ X 3	600 SF	✓
ONE TREE WITHIN 80' OF REQ. PARKING	✓	✓
PERMIABLE LANDSCAPE PROVIDED	3,756 SF	✓
1 TREE / 10 PARKING SPACES	16	16
SCREENING REQUIREMENTS		
	REQUIRED	PROVIDED
SCREEN TRASH AREAS	N/A	
SCREEN RESIDENTIAL OR MULTI-FAMILY	N/A	
STREET TREES		
	REQUIRED	PROVIDED
1 TREE / 50' FRONTAGE	1	1

PLANTING NOTES

PREPARATION
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIALS.

PLANT LOCATIONS
REFER TO PLANTING PLAN FOR PLANTING LOCATION AND PLANT MATERIAL LEGEND FOR SPECIFICATIONS. PLANT MATERIAL LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

COORDINATION
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.

MAINTENANCE
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANTING BEDS IN A WEED AND DEBRIS FREE CONDITION AND SHALL ACCOMPLISH WATERING BY HAND AS DEEMED NECESSARY UNTIL SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL MAINTAIN ALL WORK FOR A PERIOD OF 30 DAYS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE.

VERIFICATION
LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATION BY LANDSCAPE ARCHITECT. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDSCAPE ARCHITECT TO BE NOTIFIED IF DISCREPANCIES OCCUR. OTHERWISE, THE CONTRACTOR IS TO BID THEIR OWN VERIFIED QUANTITIES PER LANDSCAPE PLAN.

PLANTING BEDS
ALL BED AREAS ARE TO BE FLUSH WITH FINISHED GRADE AT ADJACENT PAVEMENT. ALL BED AREAS SHALL BE ROTOTILLED TO BE A DEPTH OF 6", ADDING PREPARED SOIL MIXTURE AS REQUIRED.

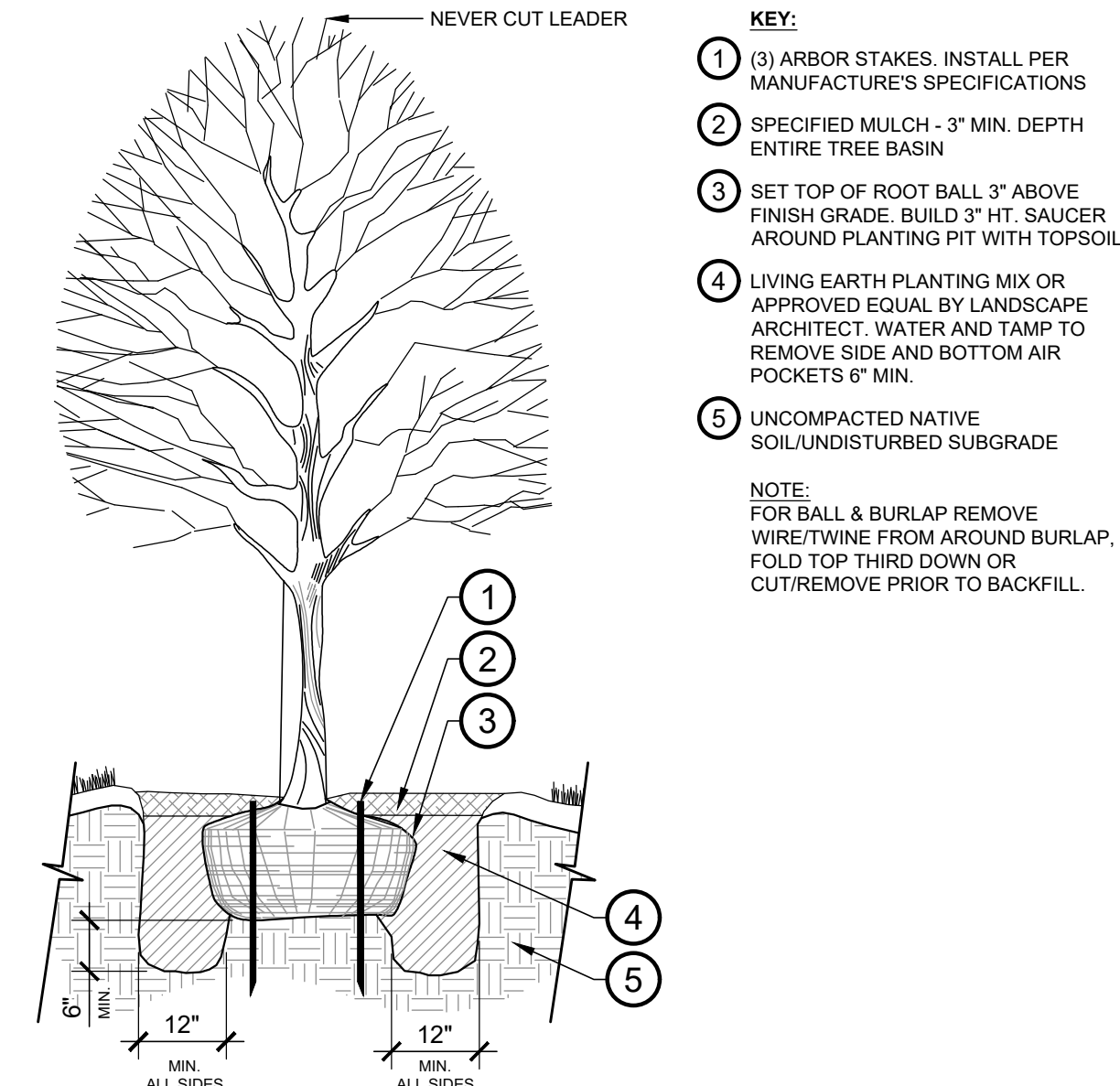
MULCH
AFTER SETTLEMENT, ALL PLANTING BED MULCH DEPTHS SHALL BE A MIN. OF 3". ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED AND REPLANTED. MULCH SHALL BE TEXAS NATIVE CEDAR

STANDARDS
ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.

PROTECTED TREES
PROTECTED TREES SHALL BE MARKED AND THE DRIP LINE OF SAID TREES SHALL BE PROTECTED PRIOR TO AND DURING ALL CONSTRUCTION, INCLUDING EARTHWORK.

IRRIGATION
IRRIGATION WILL MEET ALL TCEQ AND UDC REQUIREMENTS.

****NO TREES SHALL BE PLANTED WITHIN 5' OF UTILITIES****



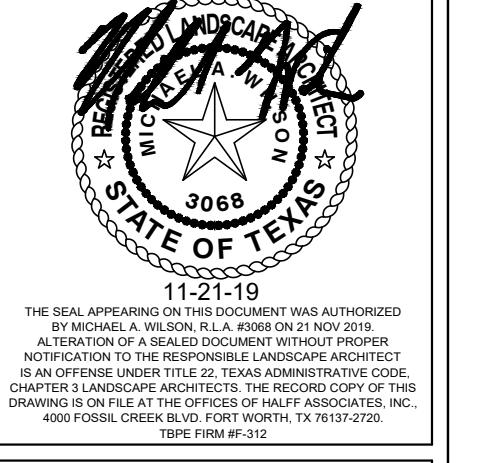
1 NEW TREE PLANTING
N.T.S.



Rockwall Urban + Industrial Center
END OF ALPHA DRIVE
ROCKWALL, TX 75087

HALFF
1201 NORTH BOWSER ROAD
RICHARDSON, TX 75081-2275
(214) 346-6200

Revision No.	Date	Description



Project No.: 35989
 Issued: 11-21-19
 Drawn By: CAP
 Checked By: MAW
 Scale: AS SHOWN
 Sheet Title: LANDSCAPE PLAN
 L 2.01
 Sheet Number





IRRIGATION
STATION













CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Planner*
DATE: May 10, 2022
SUBJECT: SP2022-020; *Amended Site Plan for Wendy's*

The applicant, Mark Griffin of Linear Architecture LLC, is requesting the approval of an Amended Site Plan to change the building elevations for an existing *Restaurant with Drive-Through (Wendy's)*. The subject property is a 0.964-acre parcel of land (*i.e. Lot 3R, Block A, Rockwall Towne Center, Phase 1 Addition*), zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, and addressed as 2545 Ridge Road. On May 11, 1995, the Planning and Zoning Commission approved a site plan [*Case No. PZ1995-018-01*] allowing the construction of a *Restaurant, Greater Than 2,000 SF with Drive-Through or Drive-In (i.e. Wendy's)* on the subject property. According to the Rockwall County Appraisal District (RCAD) the existing building is 2,690 SF and was constructed in 1996. The proposed building elevations submitted by the applicant indicate the following changes will be made to the building: [1] a red stucco vertical projection will be incorporate into the front façade of the building, [2] the copper colored canopy will be replaced with a dark bronze corrugated metal panel, [3] a wood style accent tile will be incorporated into the building's façade, [4] dark bronze canopies will be added, and [5] the parapet cap color will be changed from black to silver.

The submitted amended site plan generally conforms to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District, and the IH-30 Overlay (IH-30 OV) District and Scenic Overlay (SOV) District. With this being said the applicant is requesting a variance to the requirements of Subsection 06.02(C)(2), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), to allow stucco within the first four (4) feet of grade on the building's façade. The applicant has indicated that they are making this request to conform to the new corporate branding for older Wendy's locations. Staff was also informed by the applicant that as part of the remodel for the Wendy's they will be cleaning up the landscaping on site and providing some new landscaping around the building. The approval of the requested variance is a discretionary decision for the Planning and Zoning Commission, and will require a supermajority vote (*i.e. three-quarter majority vote*) of the Planning and Zoning Commission with a minimum of four (4) votes in the affirmative. The Architectural Review Board (ARB) did review the building elevations on April 26, 2022, and approved a motion to recommend approval of the building elevations and variance by a vote of 4-0, with Board Members Johnson, Avenetti, and McAngus absent. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the May 10, 2022 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2022-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2545 Ridge Rd., Rockwall, TX 75087

SUBDIVISION 4837 Rockwall Towne Center PH 1

LOT 4 BLOCK A

GENERAL LOCATION Ridge Rd and I-30

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C

CURRENT USE A-2

PROPOSED ZONING C

PROPOSED USE A-2

ACREAGE 1

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER WKS Frosty Corp

APPLICANT Linear Architecture LLC

CONTACT PERSON Roland C Spongberg

CONTACT PERSON Mark Griffin

ADDRESS 5856 Corporate Ave Suite 200

ADDRESS 4436 Harvest Hill Rd

CITY, STATE & ZIP Cypress, CA 90630

CITY, STATE & ZIP Dallas, TX 75244

PHONE 562-425-1402

PHONE 214-317-9523

E-MAIL jim.donati@clockworkgc.com

E-MAIL mgriffin@linear-architecture.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Orange)

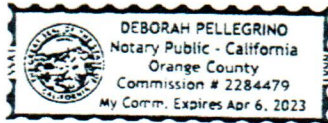
On 14 APRIL 2022 before me, DEBORAH PELLEGRINO
Date Here Insert Name and Title of the Officer

personally appeared ROLAND C Sponberg
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: DEVELOPMENT APPLICATION Document Date: _____
Number of Pages: 1 Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

- Corporate Officer — Title(s): PRESIDENT
- Partner — Limited General
- Individual Attorney in Fact
- Trustee Guardian or Conservator
- Other: _____

Signer Is Representing: WES FROSTY

Signer's Name: _____


- Corporate Officer — Title(s): _____
- Partner — Limited General
- Individual Attorney in Fact
- Trustee Guardian or Conservator
- Other: _____

Signer Is Representing: _____



SP2022-020: Amended Site Plan for an Existing Restaurant w/Drive Through



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Linear Architecture LLC

May 2, 2022

City of Rockwall
385 S. Goliad Street
Rockwall, TX 75087

Re: Wendy's #02248 – 2545 Ridge Road – SP2022-020

As discussed during the Planning and Zoning work session meeting on 4/26/2022, during the Architectural Review Board (ARB) meeting it was identified that a variance was identified on the building. This variance would be to allow stucco within the first four (4) feet of a building façade. In this case the base of the new red stucco vertical projection being added to the building is within the first four (4) feet of the building. I would like to request a variance to allow the stucco element within the first four (4) feet of the building.

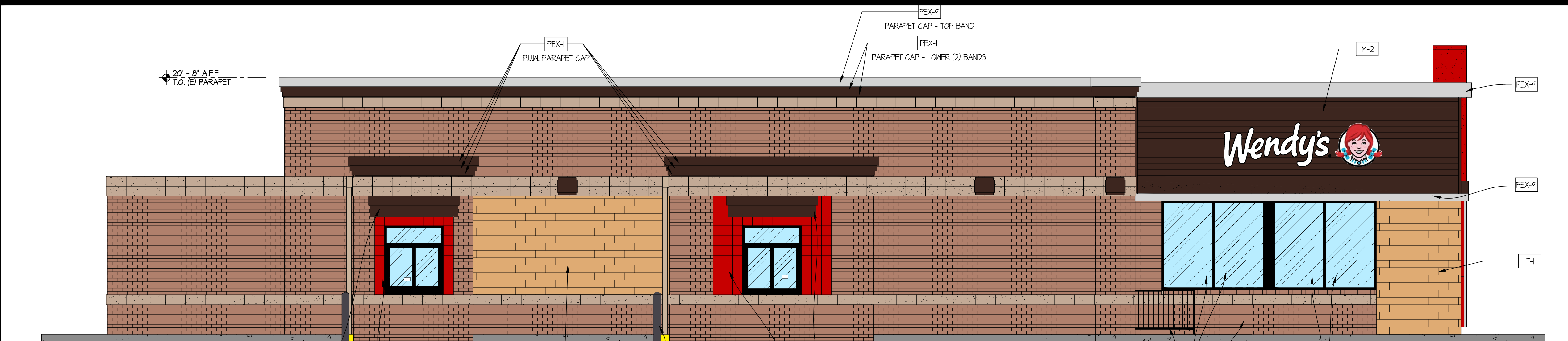
I am requesting the variance because I feel keeping the stucco element within the first four(4) feet of the building will keep the front elevation more balanced and giving the new element a more significant design statement to the building.

As a compensatory measure for the requested variance, we have budgeted additional funds to enhance the surrounding landscape areas.

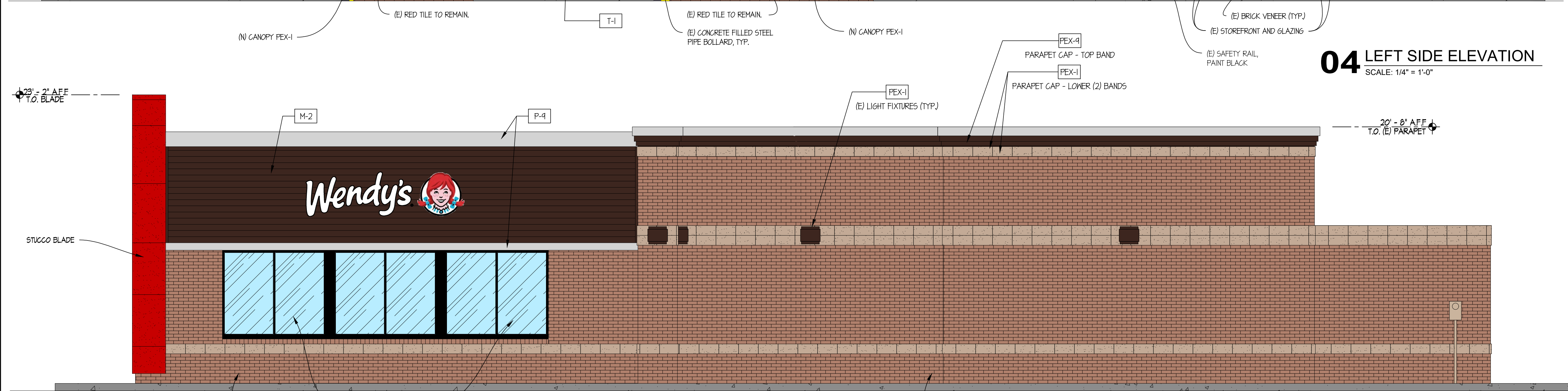
Thank you,



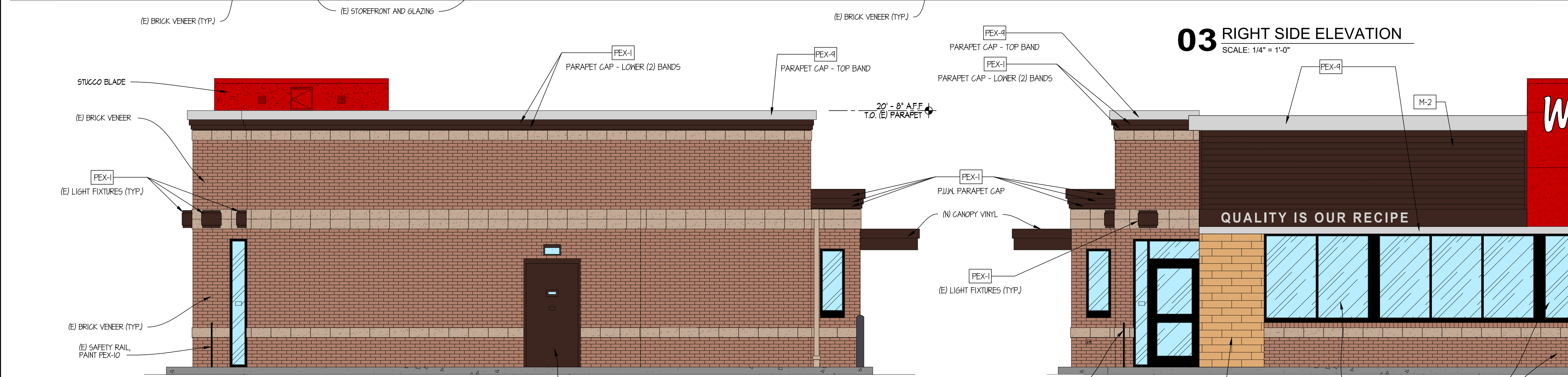
Mark Griffin
Linear Architecture



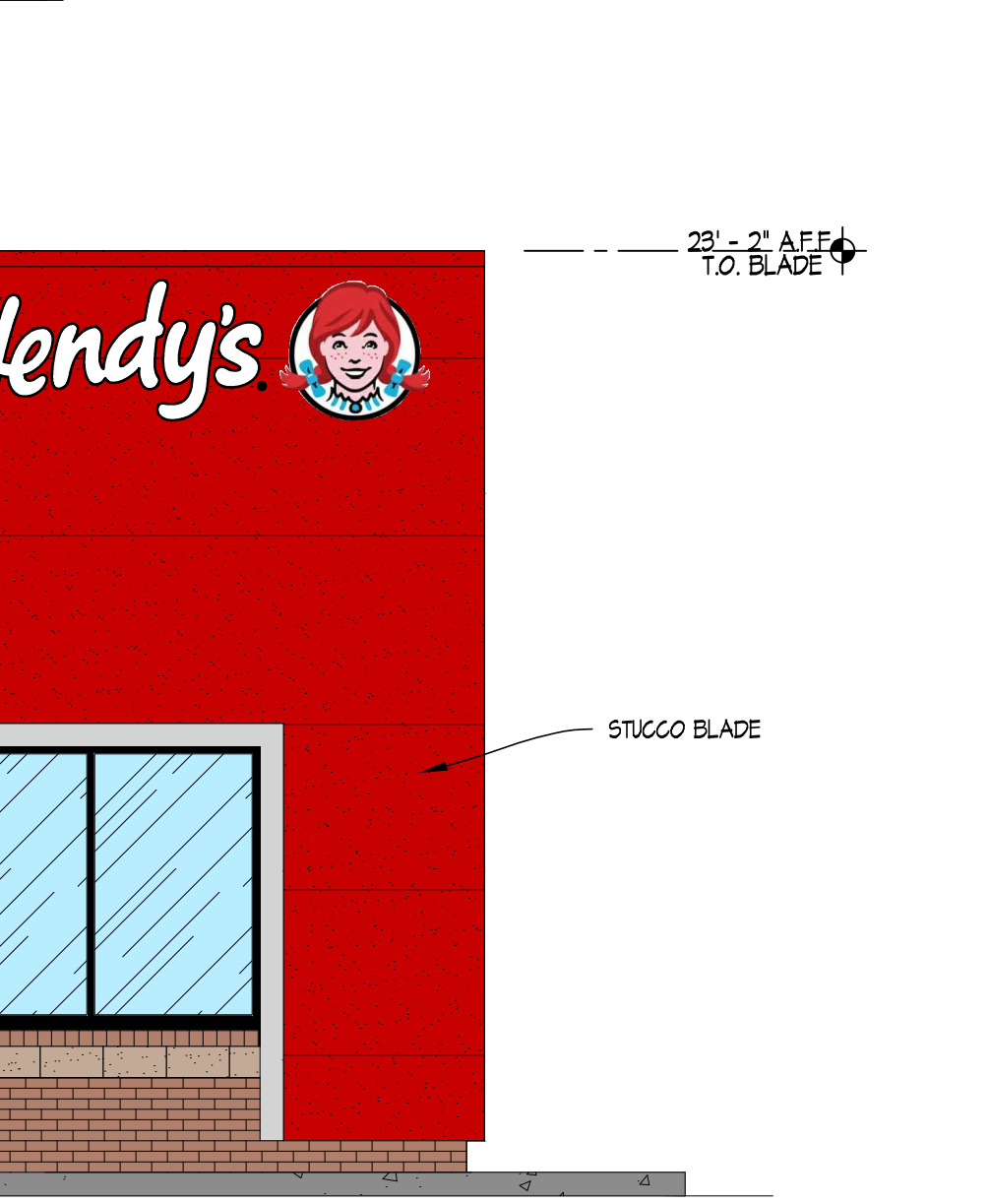
04 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



03 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



02 REAR ELEVATION
SCALE: 1/4" = 1'-0"



01 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES LEGEND

STUCCO	STUCCO - (WENDY'S RED)
M-2	CORRUGATED METAL PANEL (DARK BRONZE)
PEX-1	PAINT (WENDY'S DARK BRONZE) SW "MISSISSIPPI BRONZE"
PEX-9	PAINT (WENDY'S SILVER) SW "SILVER BRIGHT"
T-1	EXTERIOR WOOD LOOK TILE

PERCENTAGE OF MATERIAL

STUCCO	4.6%
M-2	11%
MASONRY	75.7%
PEX-9	4.7%
T-1	4%

PROJECT INFORMATION

SITE NUMBER:	02248
BUILDING TYPE:	CG3480
ASSET TYPE:	FREE STANDING
CLASSIFICATION:	REFRESH
OWNER:	WKS
BASE VERSION:	2021 SPRING
UPGRADE CLASSIFICATION:	N/A
PROJECT YEAR:	2022
DESIGN TYPE:	(2.0) UM BRIGHT
DRAWING RELEASE:	SPRING 2021

Linear Architecture LLC
4436 Harvest Hill Rd.
Dallas, TX 75244
PHONE: 469-299-7056



PROJECT TYPE: CG3480
REFRESH

Wendy's
WENDY'S # 02248
2545 RIDGE RD.
ROCKWALL, TX 75087

REV.	DATE	DESCRIPTION

ISSUE DATE: 01/21/2022
PROJECT NUMBER: 21-XXX
DRAWN BY:
CHECKED BY:

SEAL

SHEET NAME
EXTERIOR ELEVATIONS
SHEET NUMBER

A2.1

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____

WITNESS OUR HANDS, this _____ day of _____

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SP2022-020

5/2/2022 11:19 AM C:\Users\moflin\OneDrive\Documents\Projects\Wendy's\02248 Rockwall (2545 Ridge Rd) (REFRESH)\Construction Documents\A2_X_Exterior Elevations_CG3480.dwg moflin